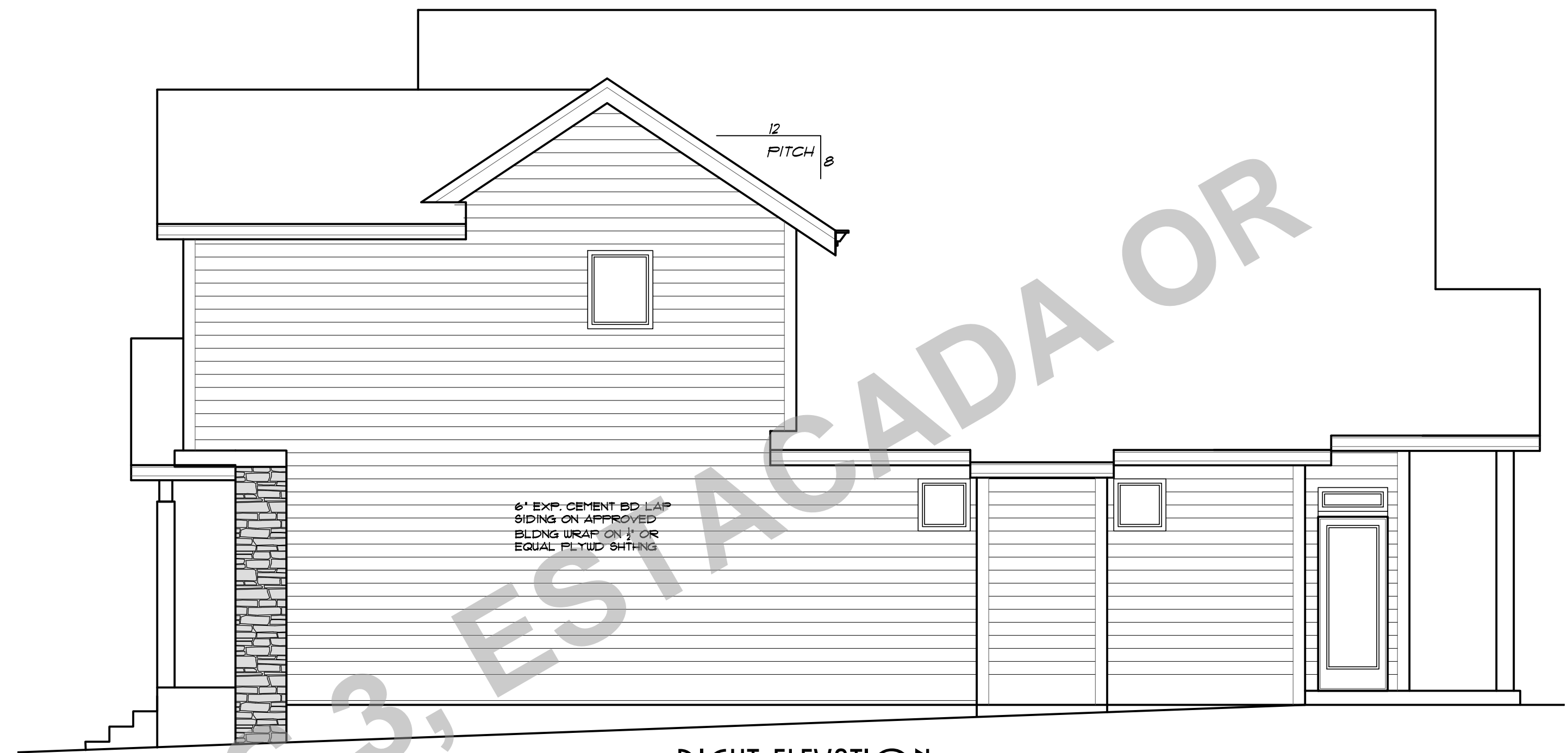
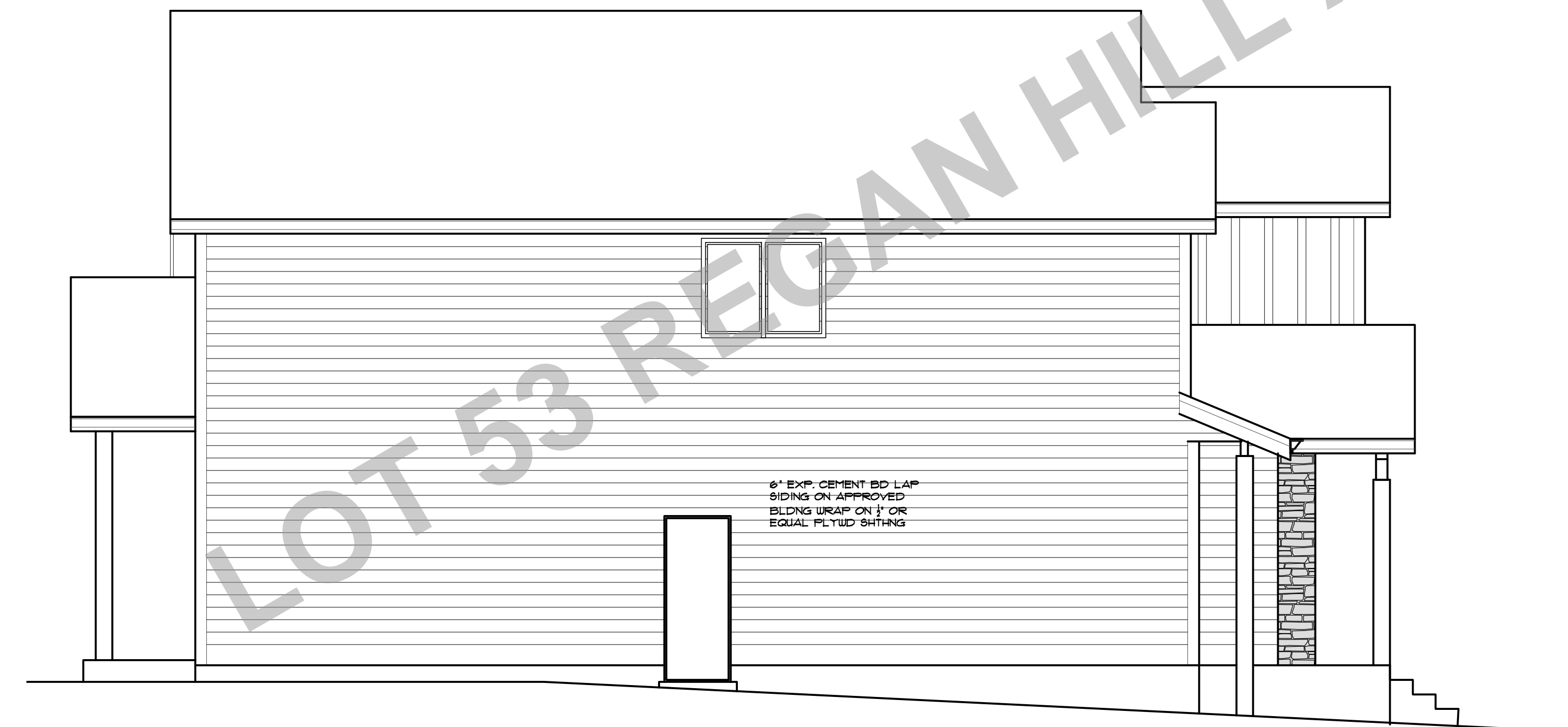


FRONT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION

PLAN NO: 21712
 DATE: 11-12-18
 SCALE: 1/4" = 1'-0"

THE CANEMAH NAIL RH3 LOT 53

ELEVATIONS

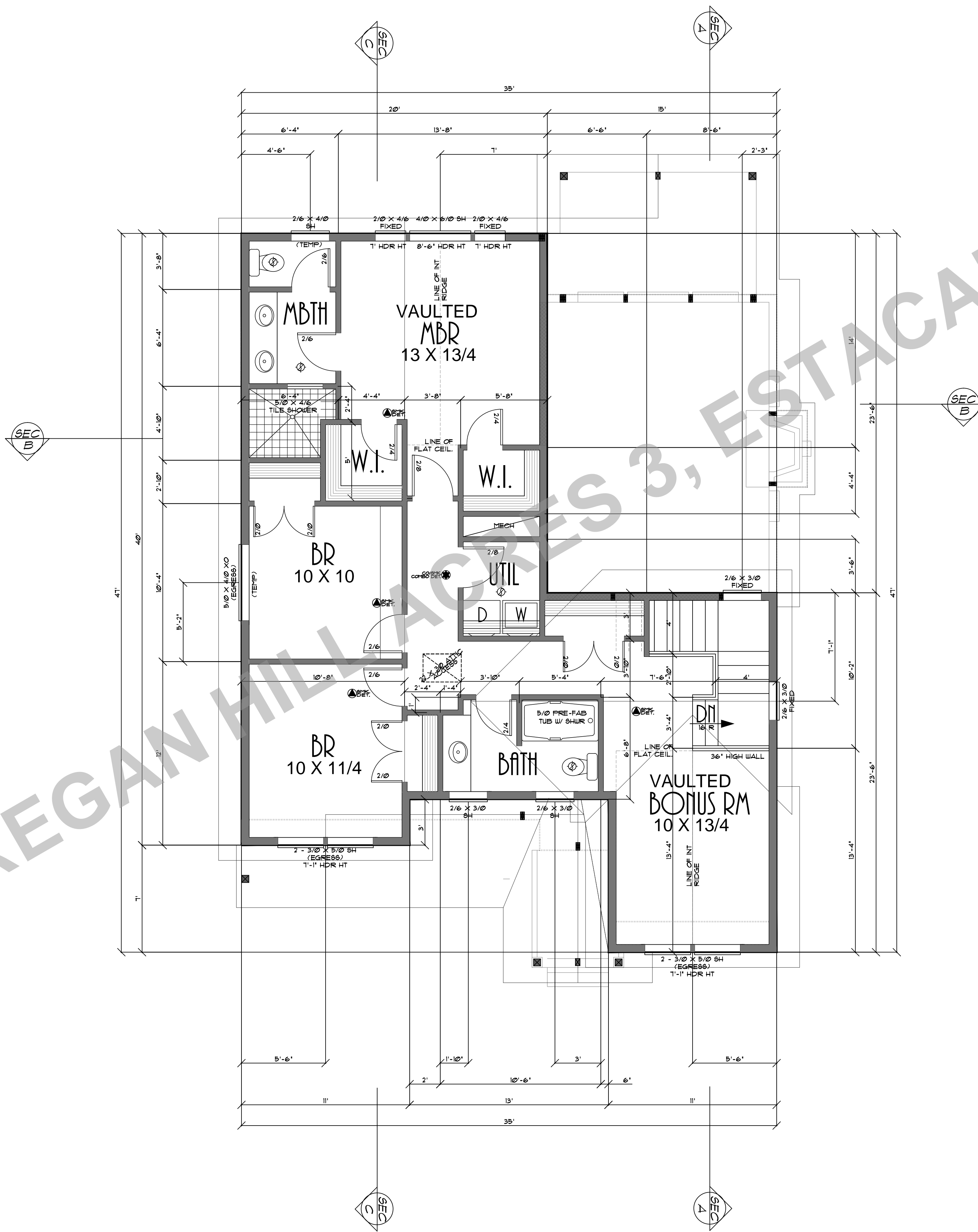
CLIENT NAME:
 LOCATION:
 SHEET TITLE:
 SQUARE FEET:

THESE PLANS HAVE BEEN LICENSED TO THE CUSTOMER FOR THE USE IN THE CONSTRUCTION OF THE PROJECT DESCRIBED HEREIN. ANY REUSE, REVISION, OR ALTERATION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF RJP DESIGN PROVIDENCE, RI IS STRICTLY PROHIBITED. THE CUSTOMER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. RJP DESIGN PROVIDENCE, RI SHALL NOT BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES IN THESE PLANS OR FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THESE PLANS ARE PROVIDED AS IS, WITHOUT WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO THE WARRANTIES OF MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE, AND NONINFRINGEMENT. THE CUSTOMER SHALL INDEMNIFY AND HOLD RJP DESIGN PROVIDENCE, RI HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM OR OUT OF THE USE OF THESE PLANS.

SHEET NR:

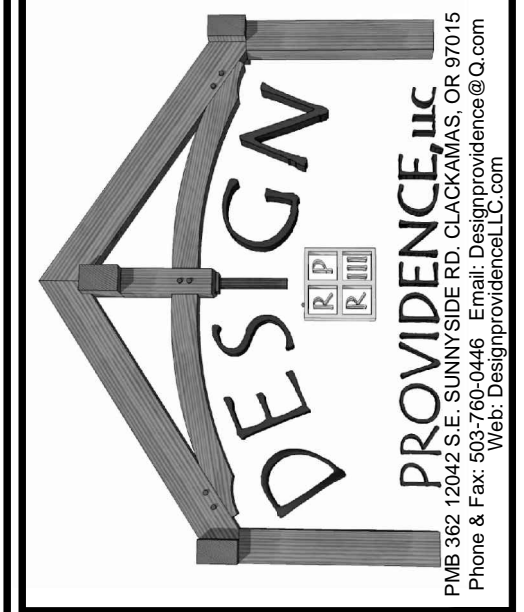
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LOT 53 REGAN HILL ACRES 3, ESTACADA OR



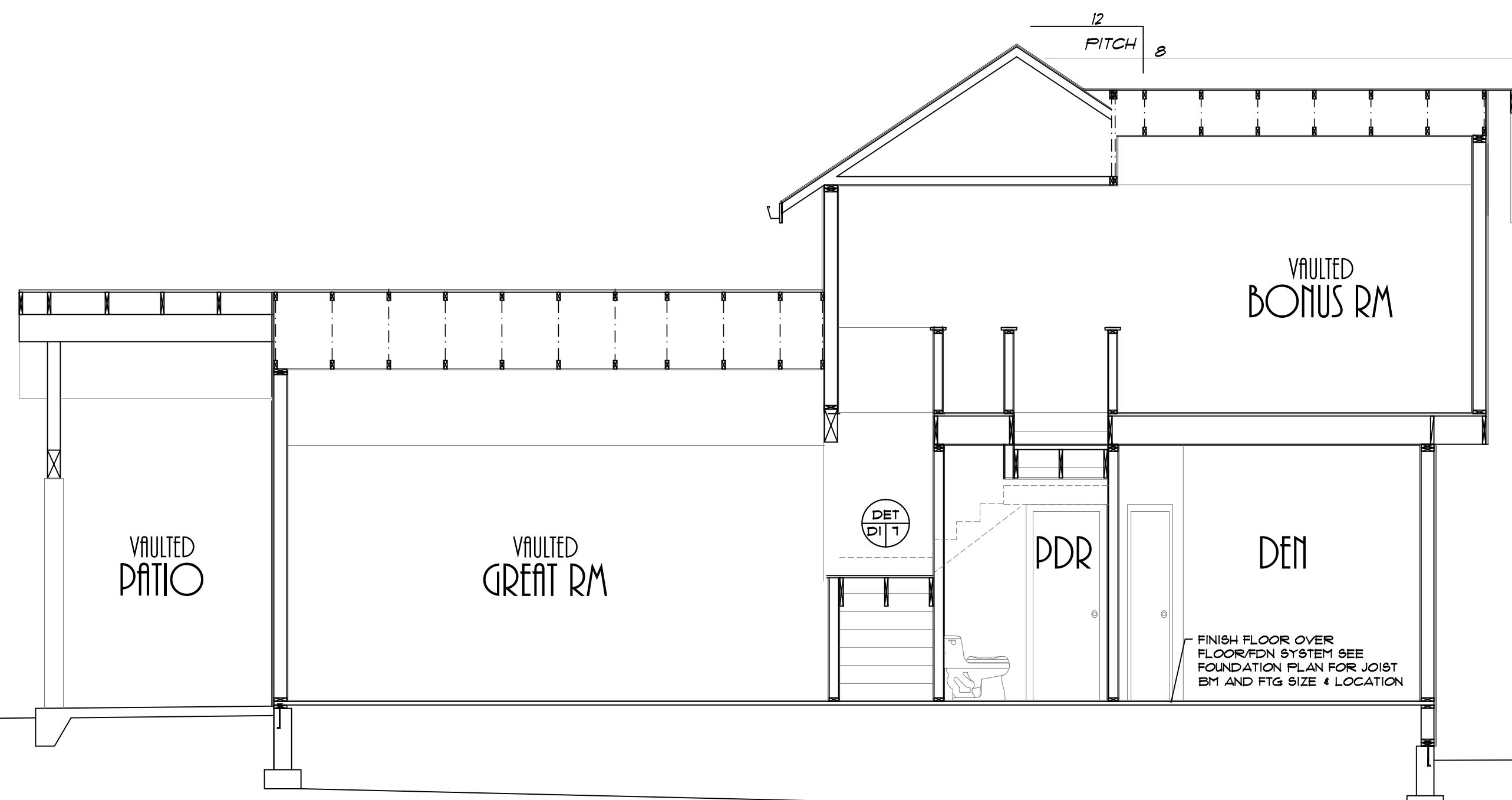
PLAN NO: 21712
 DATE: 11-12-18
 SCALE: 1/4" = 1'-0"

CLIENT NAME: THE CANEMAH NAIL RH3 LOT 53
 LOCATION: ESTACADA, OR
 SHEET TITLE: UPPER FLOOR PLAN
 SQUARE FEET: 1020 SQUARE FEET

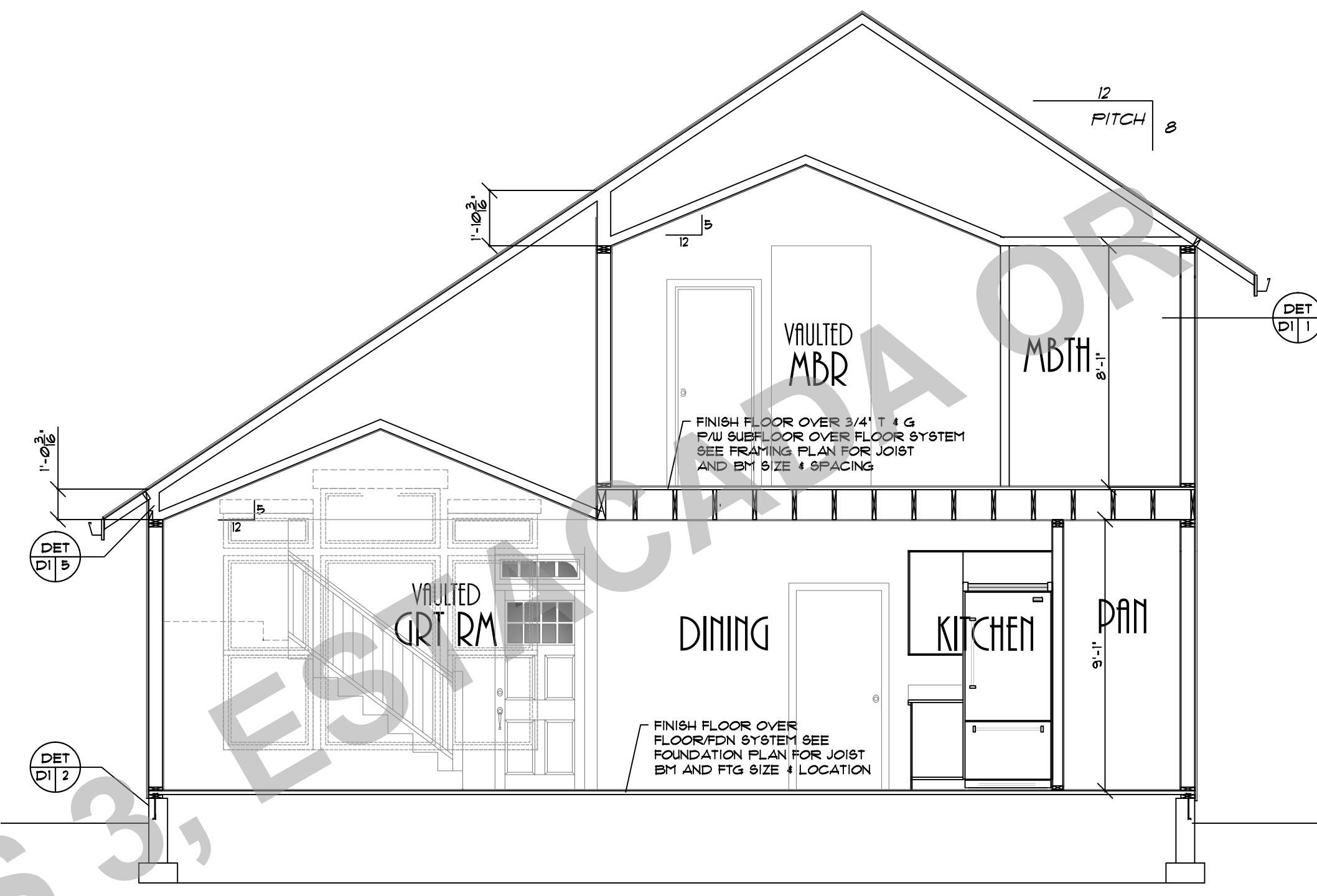


THESE PLANS HAVE BEEN PREPARED BY THE ARCHITECT FOR THE USE IN CONNECTION WITH THE PROJECT AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY OTHER USE OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS UNAUTHORIZED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE, LOSS, OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS, WHETHER OR NOT SUCH DAMAGE, LOSS, OR INJURY IS CAUSED IN WHOLE OR IN PART BY NEGLIGENCE. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL FEE RECEIVED BY THE ARCHITECT. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS TO THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL FEE RECEIVED BY THE ARCHITECT. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS TO THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL FEE RECEIVED BY THE ARCHITECT. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS TO THE ARCHITECT.

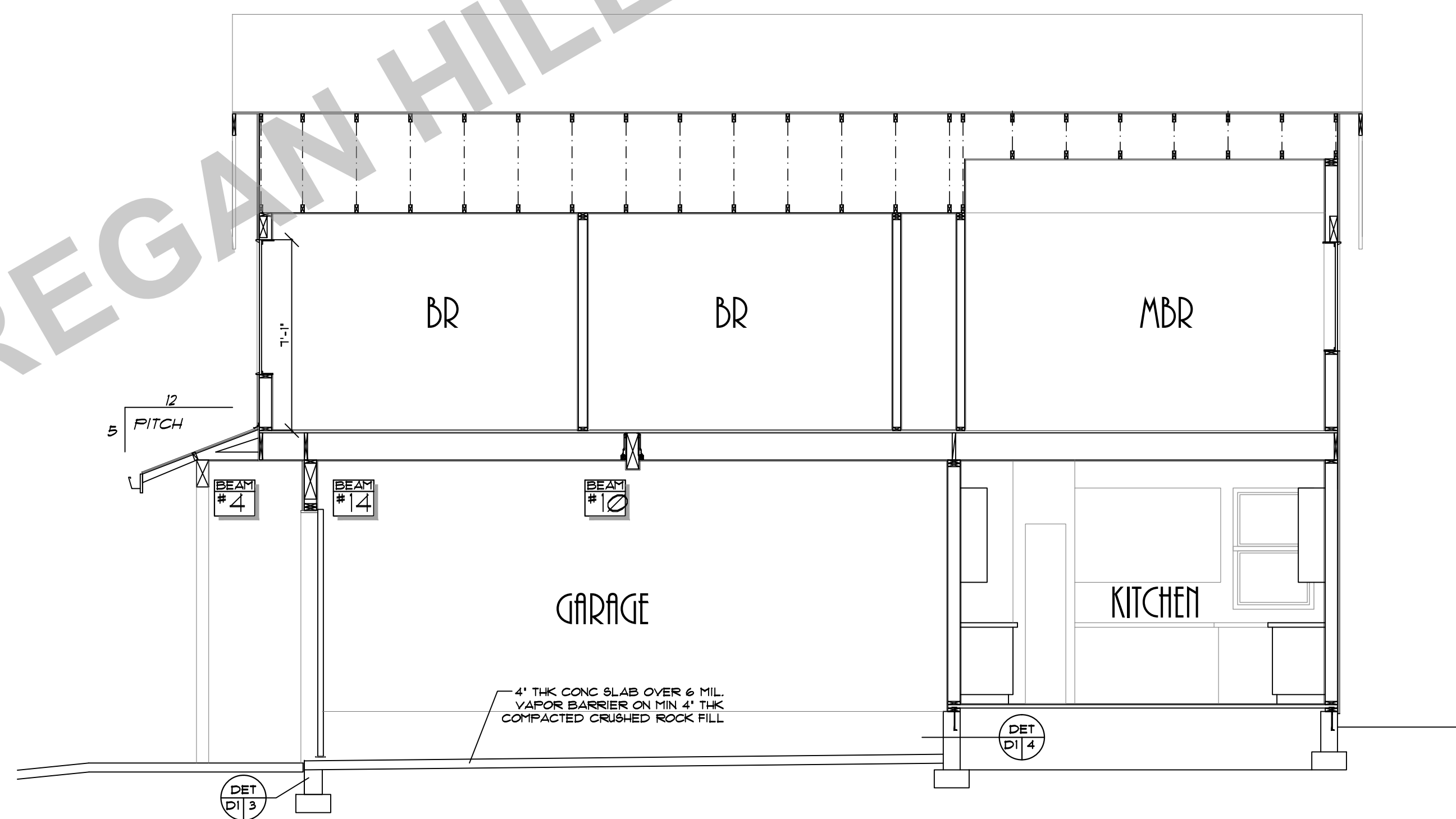
SHEET NR:
3



CROSS SECTION A-A



CROSS SECTION B-B



CROSS SECTION C-C

PLAN NO: 21712
 DATE: 11-12-18
 SCALE: 1/4" = 1'-0"

THE CANEMAH NAIL RH3 LOT 53

CROSS SECTIONS

CLIENT NAME:
 LOCATION
 SHEET TITLE:
 SQUARE FEET:

THESE PLANS HAVE BEEN PREPARED FOR THE USE OF THE CUSTOMER FOR THE PROJECT DESCRIBED HEREIN. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY COSTS INCURRED BY THE USER OF THESE PLANS IN CONNECTION WITH THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR INTERRUPTIONS IN THE WORK. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CHANGES TO THESE PLANS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY UNAUTHORIZED USE OF THESE PLANS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY REPRODUCTION OF THESE PLANS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY VIOLATION OF ANY APPLICABLE LAWS OR REGULATIONS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY NEGLIGENCE OR MALPRACTICE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY OTHER MATTERS NOT EXPRESSLY PROVIDED FOR IN THESE PLANS.

SHEET NR:

4

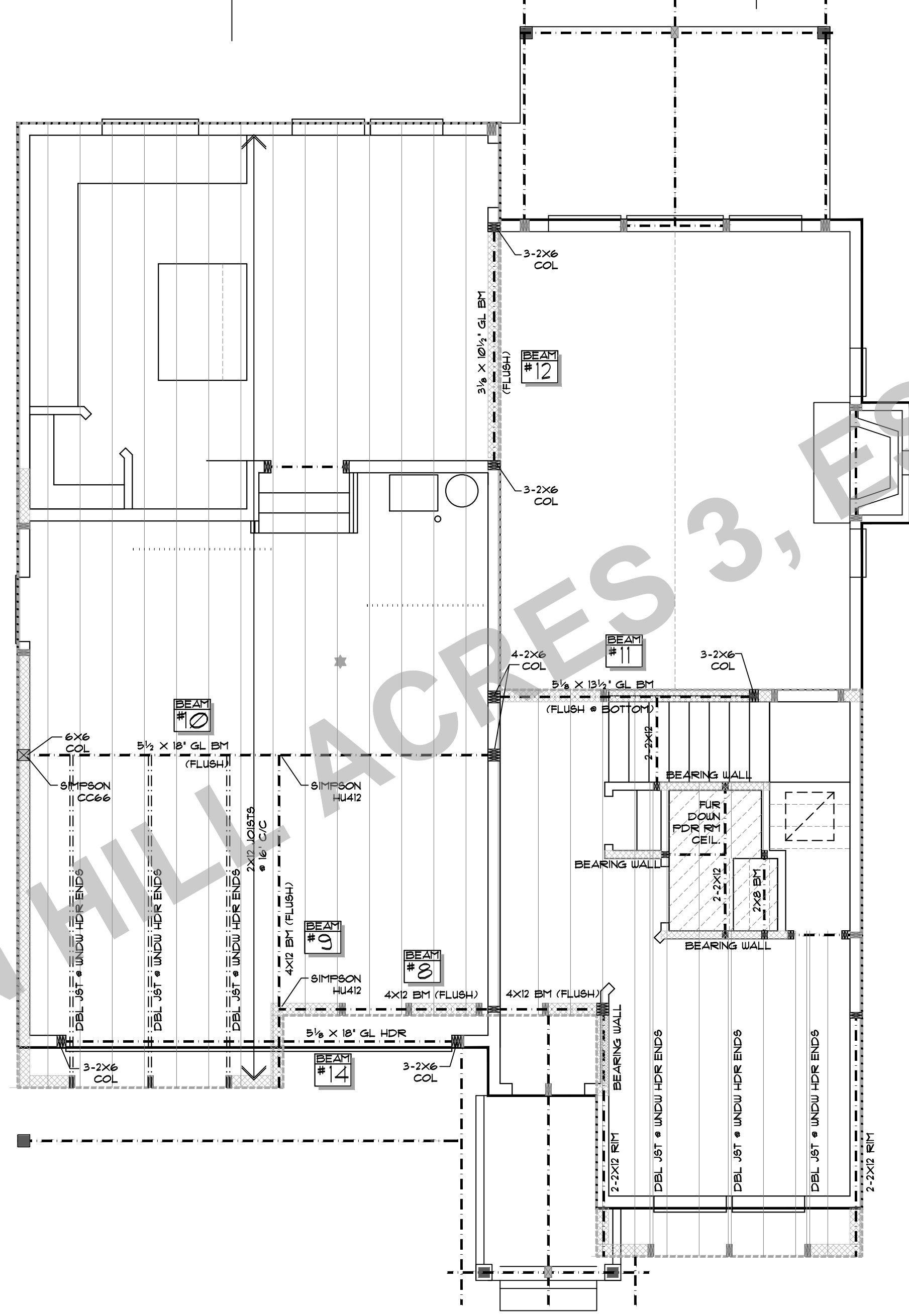
LOT 53 REGAN HILL ACRES 3, ESTACADA OR

SEC B

SEC C

SEC 4

SEC B



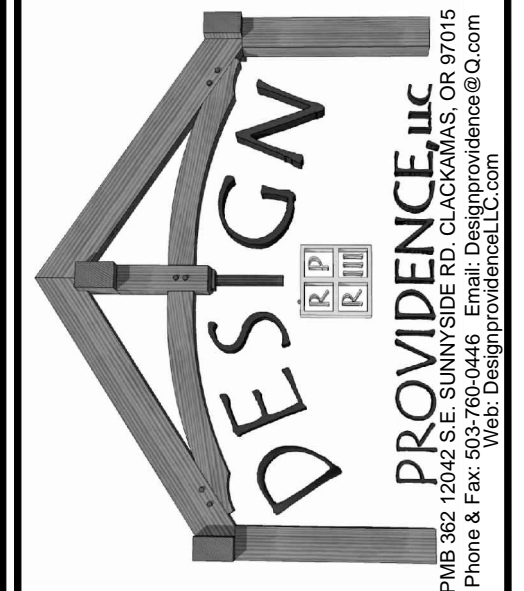
NOTE: MIN BEARING POST TO (2)X TO MATCH WALL UNLESS NOTED OTHERWISE

PLAN NO: 21712
 DATE: 11-12-18
 SCALE: 1/4" = 1'-0"

THE CANEMAH NAIL RH3 LOT 53

CLIENT NAME:
 LOCATION:
 SHEET TITLE:
 SQUARE FEET:

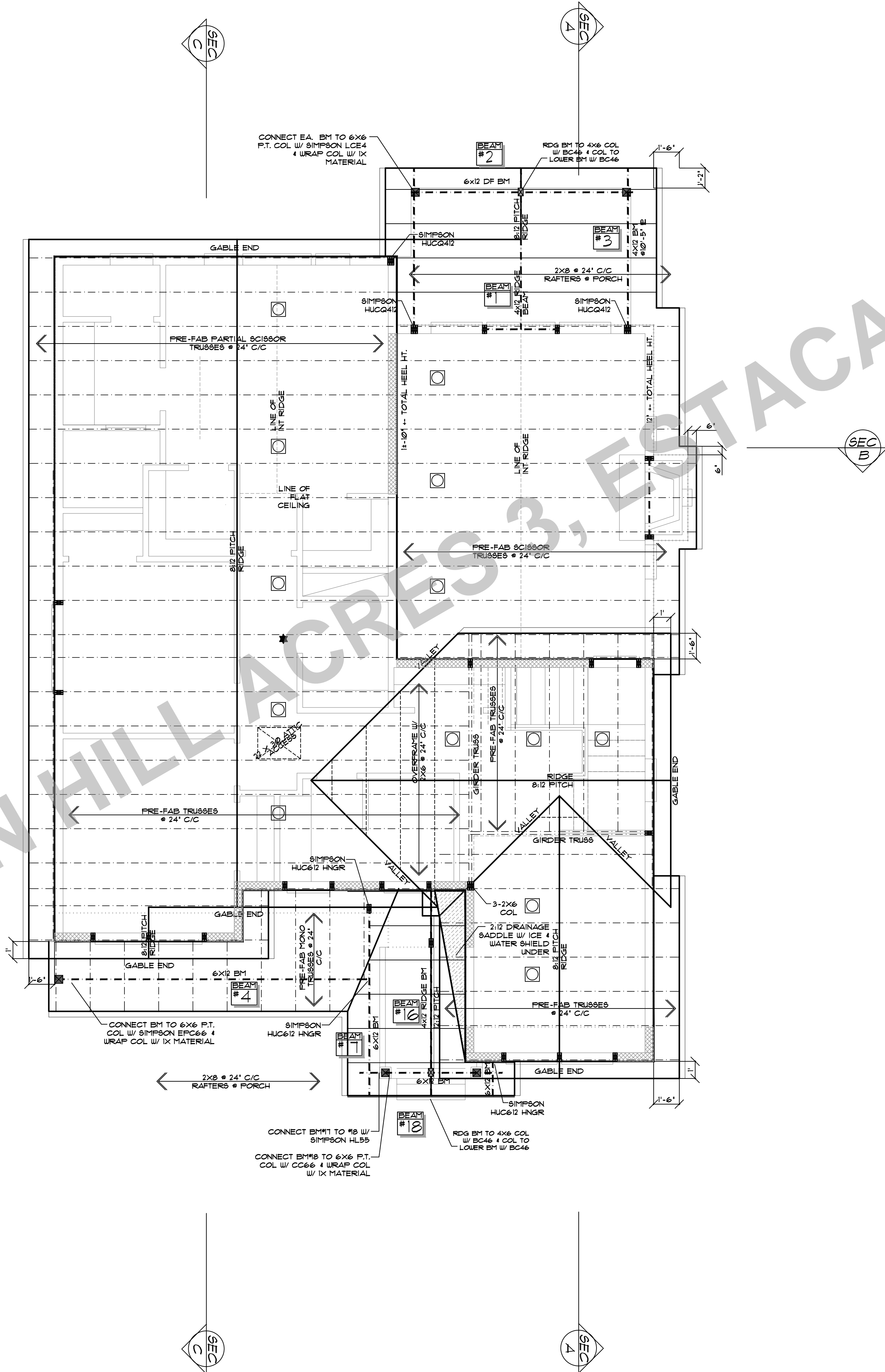
CEILING FRAMING



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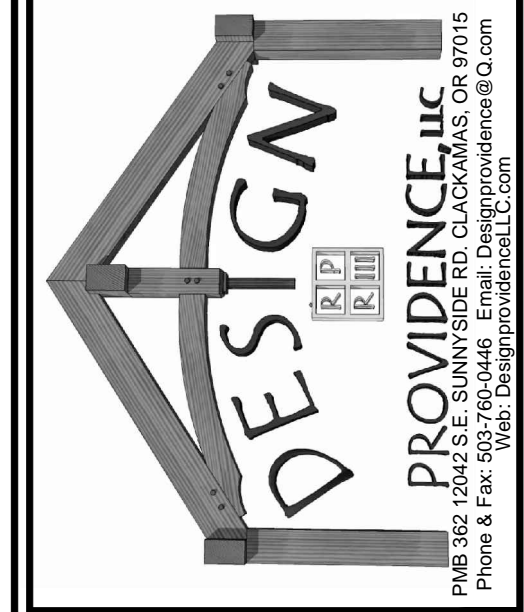
SHEET NR:
6

LOT 53 REGAN HILL ACRES 3, EST ACADA OR



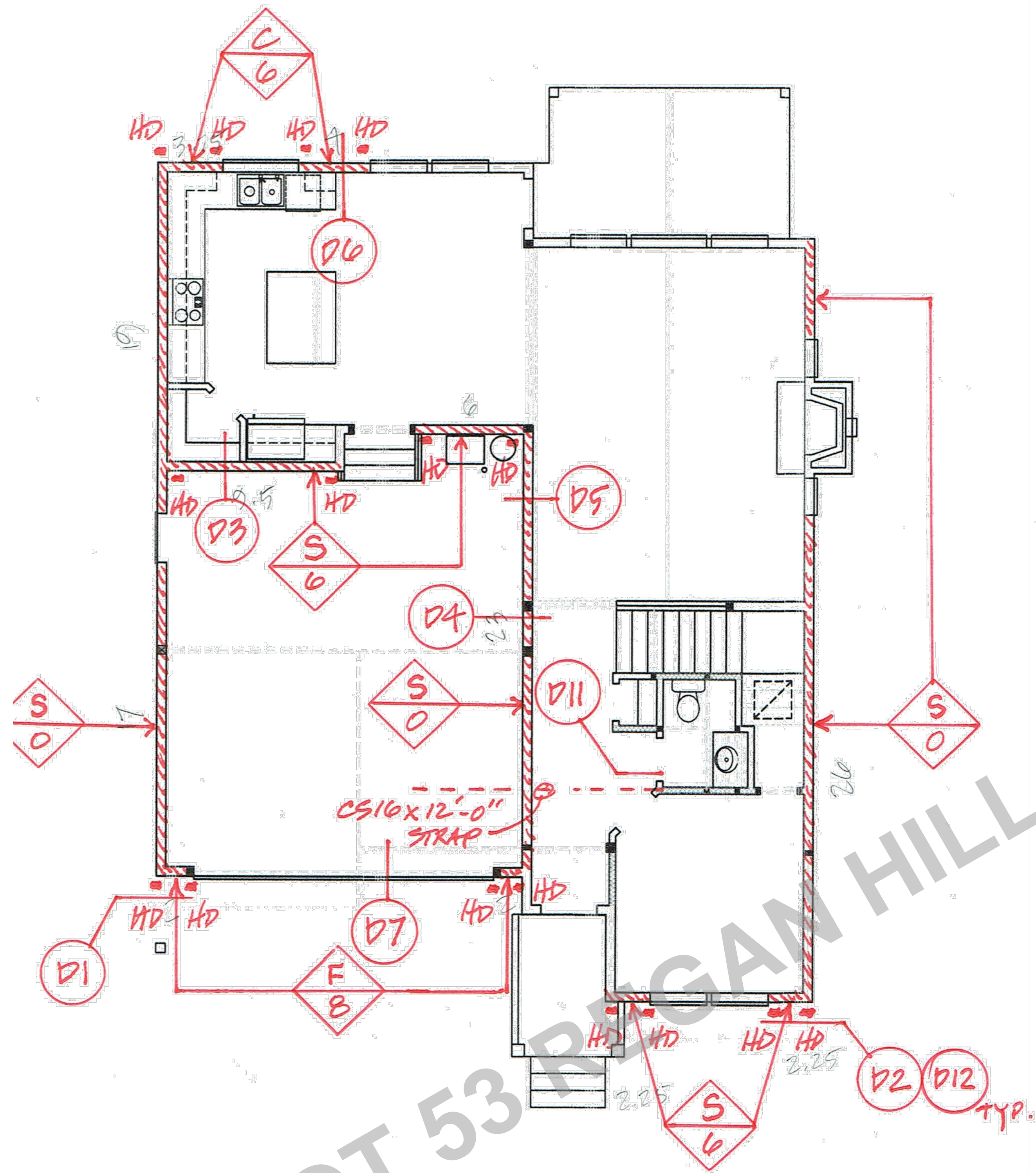
PLAN NO: 21712
 DATE: 11-12-18
 SCALE: 1/4" = 1'-0"

CLIENT NAME: THE CANEMAH NAIL RH3 LOT 53
 LOCATION:
 SHEET TITLE: ROOF FRAMING PLAN
 SQUARE FEET:



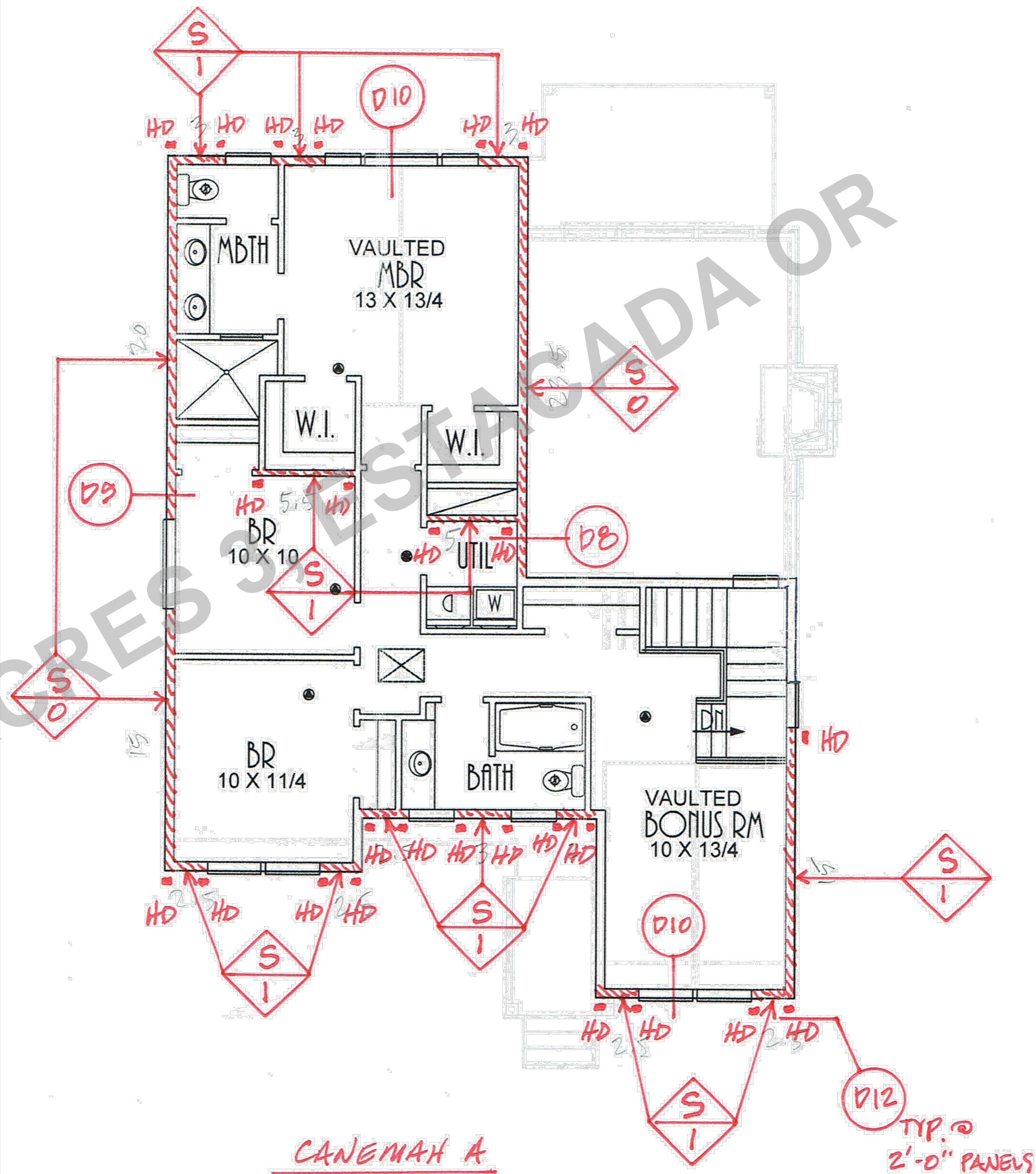
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SHEET NR:
7



CANEMAH A
10.22.18

MAIN floor plan



CANEMAH A
10.22.18

upper floor plan



3151 NE SANDY BLVD.
SUITE 100
PORTLAND, OR 97232
P: (503) 230-8876

JOBS@SHERMANENGINEERS.COM

REVISIONS	
▲	REVISION-1
▲	REVISION-2
▲	REVISION-3

PROJECT #
18-PROV-05-UPDATE

PROJECT ADDRESS
LOT-53-REGAN-ESTATES
ESTACADA-OR
CLACKAMAS-COUNTY

PROJECT TITLE
CANEMAH-A
2-CAR
FOR:
DESIGN-PROVIDENCE

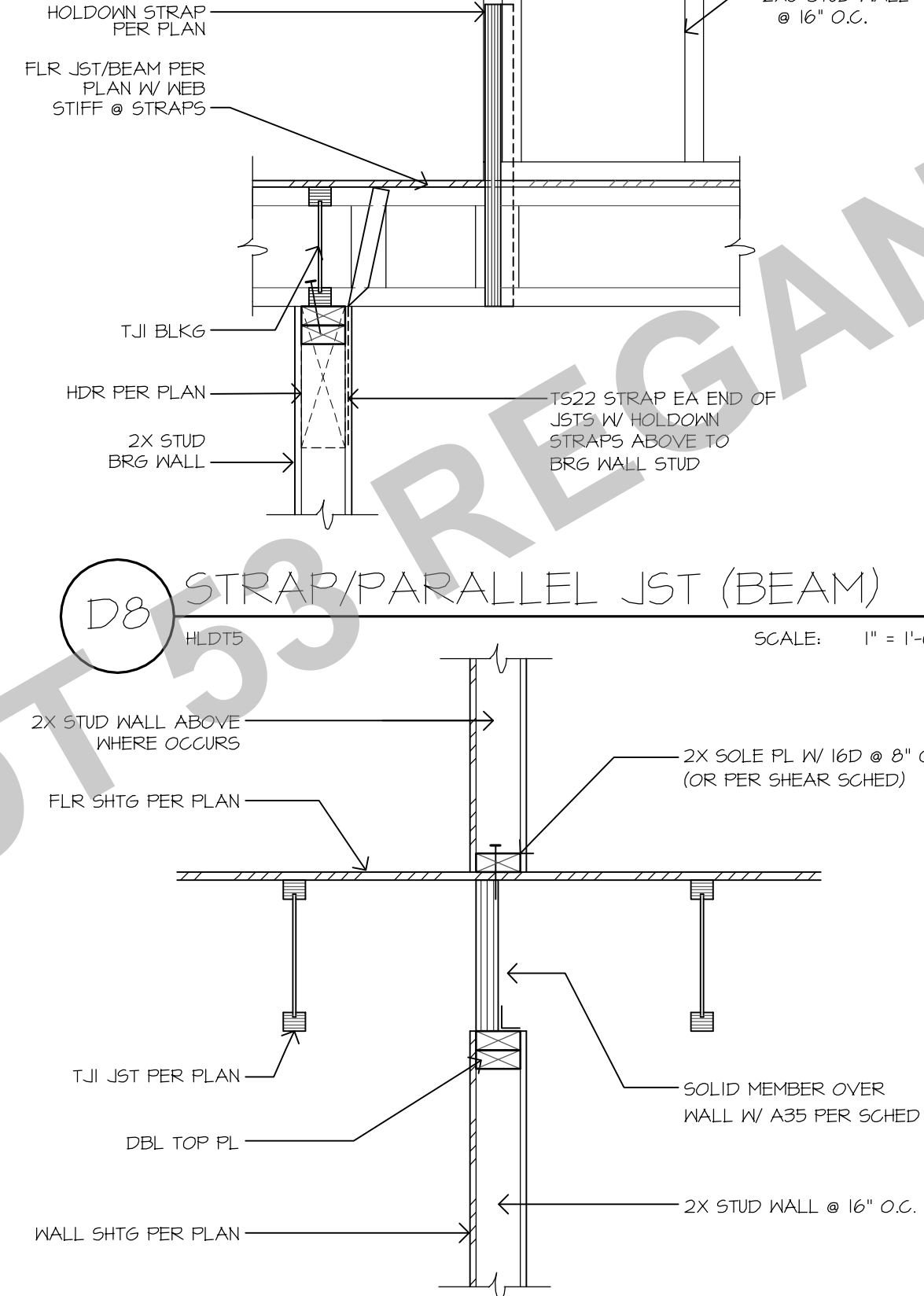
SHEAR-WALL
DESIGN
OCTOBER-24,-2018



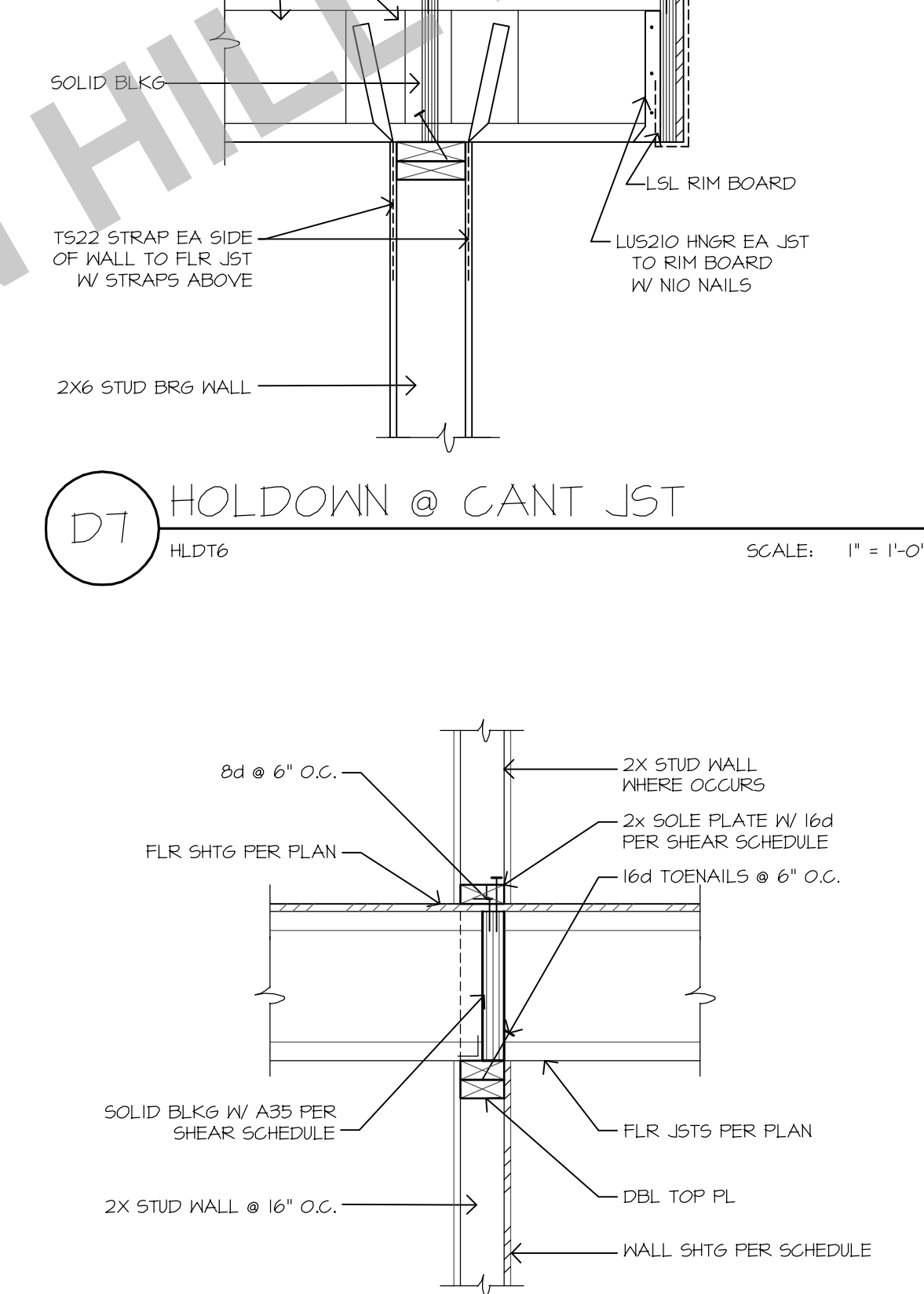
SHEARWALL SCHEDULE						ALL PANEL EDGES MUST BE BLOCKED UNLESS NOTED OTHERWISE	
MARK	WALL COVER	FASTENERS	# PANEL EDGES	INTERM. STUDS	SOLE PLATE CONN (SEE NOTE #3)	RIM BOARD/BLKG CONN	REMARKS
5	1/6" A.P.A. RATED SHTG	0.131" x 2-1/2" F. RH. P-NAIL	6" O.C.	12" O.C.	16d @ 6" O.C. 1/2"x10" AB'S @ 32" O.C.	A35 @ 24" O.C.	8d COMMON @ 6" O.C. SUITABLE SUBST. FOR 0.131" F. RH. P-NAIL
A	5/8" 6x8. EACH SIDE	6d WALLBD. NAIL OR 2" 1"x16 SCREN	4" O.C.	4" O.C.	16d @ 6" O.C. 1/2"x10" AB'S @ 36" O.C.	A35 @ 36" O.C.	NAILING APPLIES TO EACH SIDE OF WALL. (EDGE BLKG IS REQUIRED)
B	5/8" 6x8. EACH SIDE	6d WALLBD. NAIL OR 2" 1"x16 SCREN	7" O.C.	7" O.C.	16d @ 8" O.C. 1/2"x10" AB'S @ 32" O.C.	A35 @ 48" O.C.	NAILING APPLIES TO EACH SIDE OF WALL. (EDGE BLKG IS NOT REQUIRED)
6	1/6" A.P.A. RATED SHTG	0.131" x 1/2" FULL ROUND-HEAD P-NAIL	4" O.C.	12" O.C.	16d @ 4" O.C. 1/2"x12" AB'S @ 24" O.C.	A35 @ 18" O.C.	8d COMMON NAIL OK SUBSTITUTE FOR ANY 0.131" (1 6A) P-NAIL
4	1/6" A.P.A. RATED SHTG	0.131" x 1/2" FULL ROUND-HEAD P-NAIL	3" O.C.	12" O.C.	20d @ 3" O.C. 3/4"x12" AB'S @ 24" O.C.	A35 @ 12" O.C.	3x REQUIRED @ ALL PANEL JOINTS & DBL 2X SOLE PLATE
E	1/6" A.P.A. RATED SHTG	0.131" x 1/2" FULL ROUND-HEAD P-NAIL	2" O.C.	12" O.C.	20d @ 3" O.C. 3/4"x12" AB'S @ 24" O.C.	A35 @ 10" O.C.	3x REQUIRED @ ALL PANEL JOINTS & SOLE PLATES
F	1/6" A.P.A. RATED SHTG	0.131" x 1/2" FULL ROUND-HEAD P-NAIL	4" O.C.	12" O.C.	A35 @ 5" O.C. 3/4"x12" AB'S @ 24" O.C.	A35 @ 8" O.C.	3x REQUIRED @ ALL PANEL JOINTS & SOLE PL. - OFFSET JOINTS EA. SIDE OF WALL
G	1/6" A.P.A. RATED SHTG	0.131" x 1/2" FULL ROUND-HEAD P-NAIL	3" O.C.	12" O.C.	A35 @ 4" O.C. 3/4"x12" AB'S @ 18" O.C.	A35 @ 6" O.C.	3x REQUIRED @ ALL PANEL JOINTS & SOLE PLATES OFFSET JOINTS EA. SIDE OF WALL
H	1/6" A.P.A. RATED SHTG	0.131" x 1/2" FULL ROUND-HEAD P-NAIL	2" O.C.	12" O.C.	A35 @ 3" O.C. 3/4"x12" AB'S @ 12" O.C.	A35 @ 4" O.C.	3x REQUIRED @ ALL PANEL JOINTS & SOLE PLATES OFFSET JOINTS EA. SIDE OF WALL

HOLDOWN SCHEDULE					
MARK	HOLDOWN	FASTENERS	MARK	HOLDOWN	FASTENERS ⁴
0	NO SPECIAL HOLDOWN REQUIRED	CONNECT BTM. FL TO FLR JST/BLKG W/ 16d @ 4" O.C.	6	"STDH4" (3.64 KIPS)	(38) 16d SINKERS STDH4 RJ @ RIM JOIST
1	MSTA36 (2.05 kips)	(13) 10d COMMON NAILS AT EACH END @ 1 3/4" O.C. STAGG	7	"HDU5-SD525" (5.18 KIPS)	(14) SD514x2-1/2" SCREWS & SIMPSON 55TB24 x 5/8" DIA. ANCHOR BOLT
2	MST37 (2.34 kips)	(11) 16d COMMON NAILS AT EACH END @ 1 3/4" O.C. STAGG	8	"HDU8-SD525" (7.81 KIPS)	(20) SD514x3" SCREWS (3) 2x6 POST REQD & 1 SIMPSON 55TB28
3	MST48 (3.63 kips)	(17) 16d COMMON NAILS AT EACH END @ 1 3/4" O.C. STAGG	9	"HDUI-SD525" (9.35 KIPS)	(30) SD514x2-1/2" SCREWS 6x6 POST REQD & SIMPSON 55B30
4	"MST60" (4.83 kips)	(24) 16d COMMON NAILS AT EACH END @ 1 3/4" O.C.	10	"HDUI4-SD525" (14.925 KIPS)	(36) SD514x2-1/2" SCREWS 6x6 POST REQD & SIMPSON 55B30
5	"CMST12" (9.21 kips)	(44) 16d COMMON NAILS AT EACH END @ 1 3/4" O.C.	15	"TS22"	(9) 16d EACH END

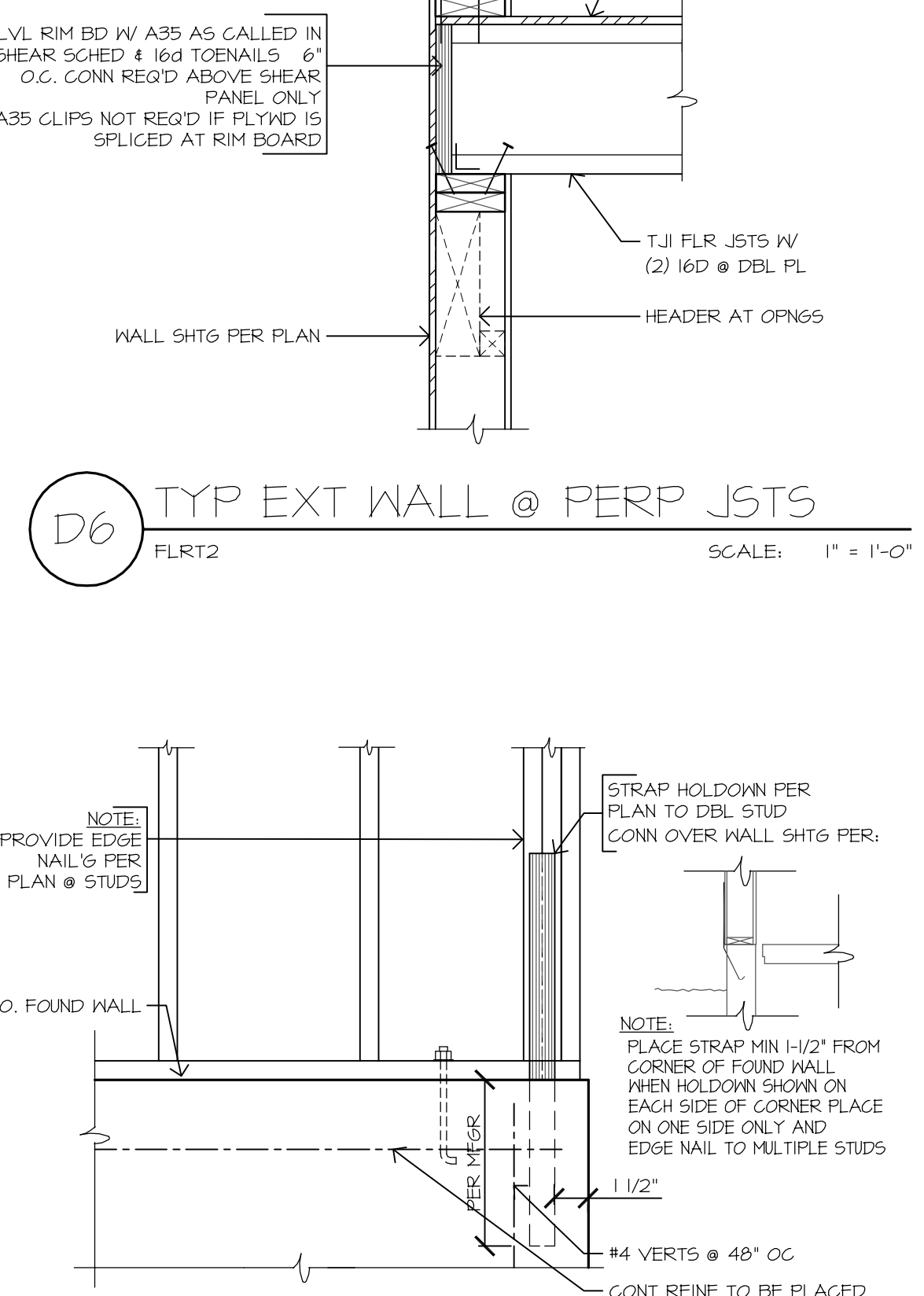
NOTES:
 1. DBL 2x SILL PLATE MAY BE SUBSTITUTED 3x PLATE IF THE ANCHOR BOLTS ARE DOUBLED FOR WALLS W/ SHEAR UP TO 600#/FT
 2. BUILDER TO VERIFY ALL INSTALLATION REQUIREMENTS PER "SIMPSON" CATALOG FOR ALL HOLDOWN CONNECTIONS.
 3. FOUNDATION ANCHOR BOLTS SHALL HAVE A STEEL PLATE WASHER UNDER EACH NUT NOT LESS THAN 0.224"x3"x3" IN SIZE.
 4. THE PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE BOTTOM PLATE IF SHEAR IS GREATER THAN 200 PLF.
 5. ALLOWABLE SHEAR FOR TYPE A MAY BE INCREASED TO 330# FOR WIND LOADING.
 6. ALLOWABLE SHEAR FOR TYPE B MAY BE INCREASED TO 460# FOR WIND LOADING.



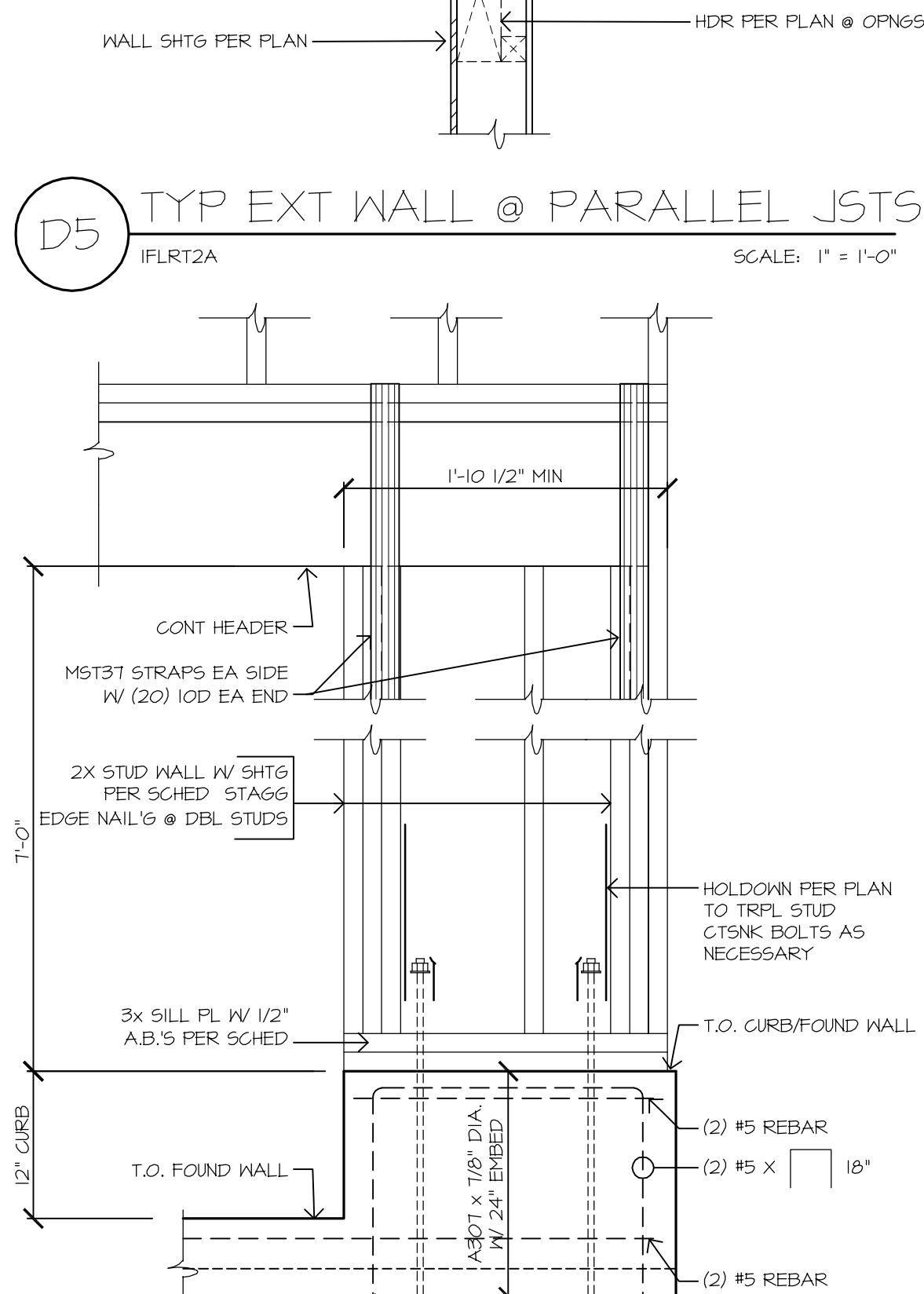
D8 STRAP/PARALLEL JST (BEAM) HLD8 SCALE: 1" = 1'-0"



D7 HOLDOWN @ CANT JST HLD7 SCALE: 1" = 1'-0"



D6 TYP EXT WALL @ PERP JSTS FLRT2 SCALE: 1" = 1'-0"



D5 TYP EXT WALL @ PARALLEL JSTS HLD5 SCALE: 1" = 1'-0"



D4 PARALLEL SHEAR WALL TO FLOOR FLRT6 SCALE: 1" = 1'-0"



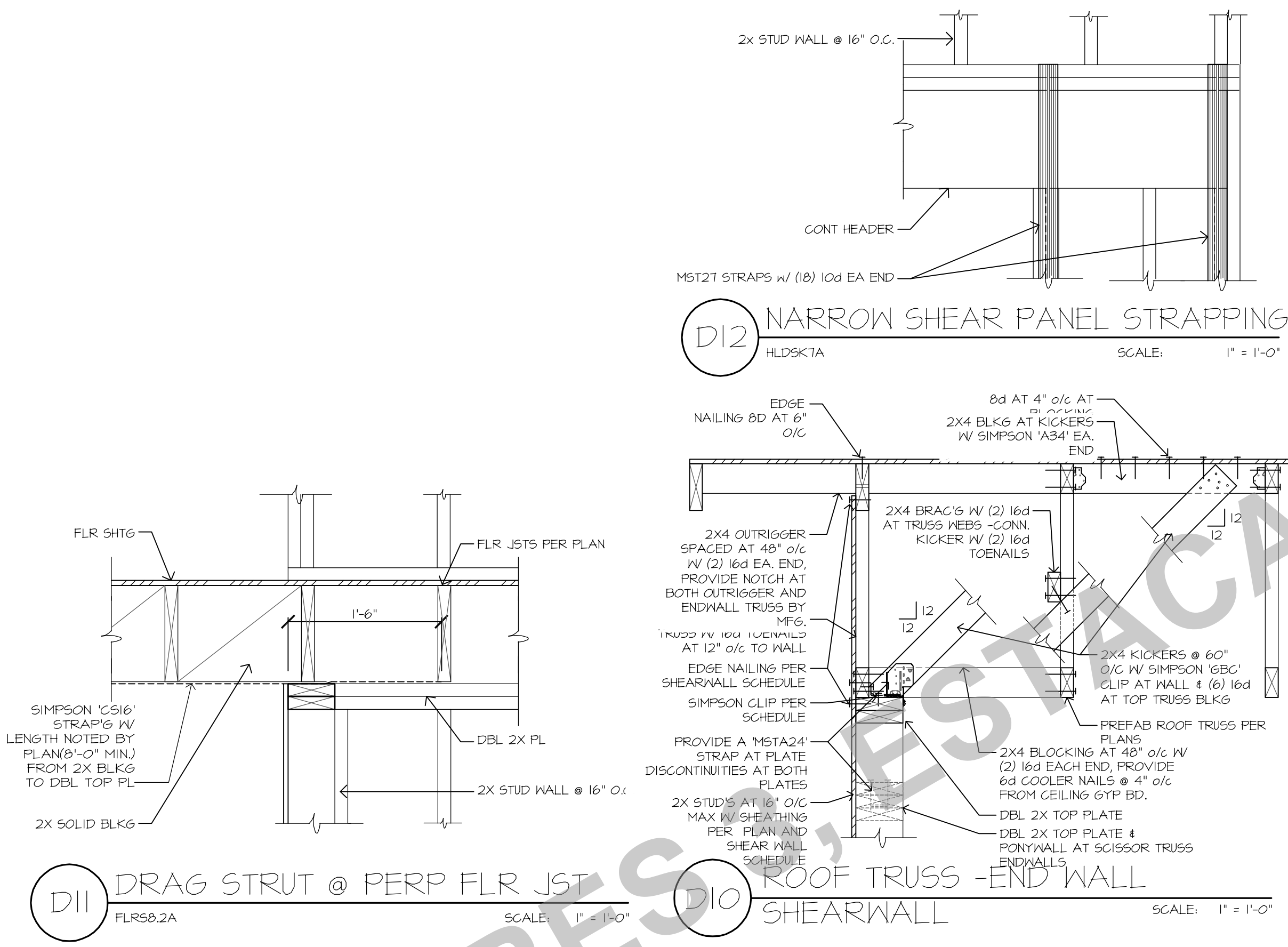
D3 TYP FLR TO SHEAR WALL CONN FLRTA SCALE: 1" = 1'-0"



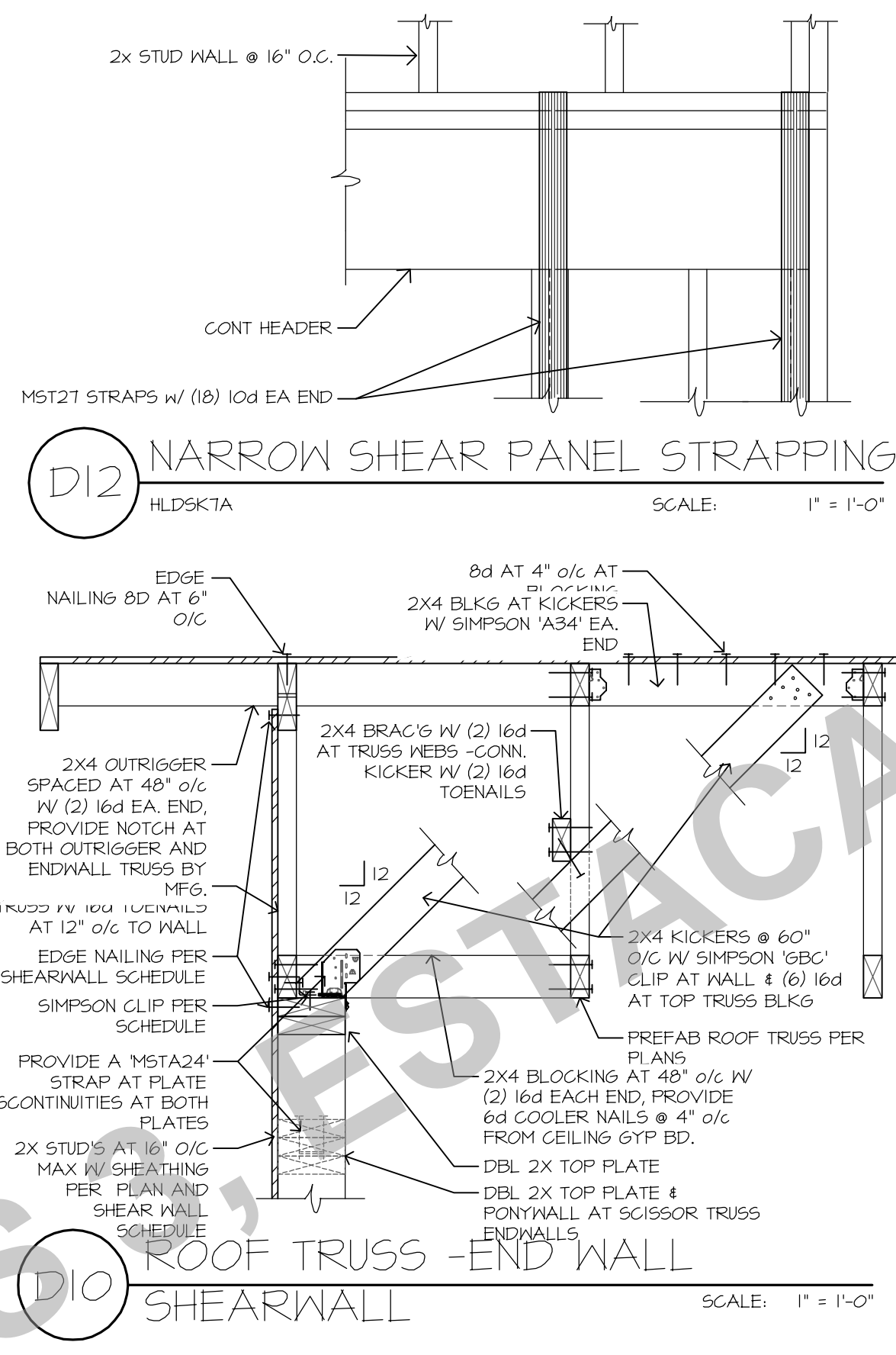
D2 TYP SHEAR WALL STRAP HOLDOWN HLD8THD10 SCALE: 1" = 1'-0"



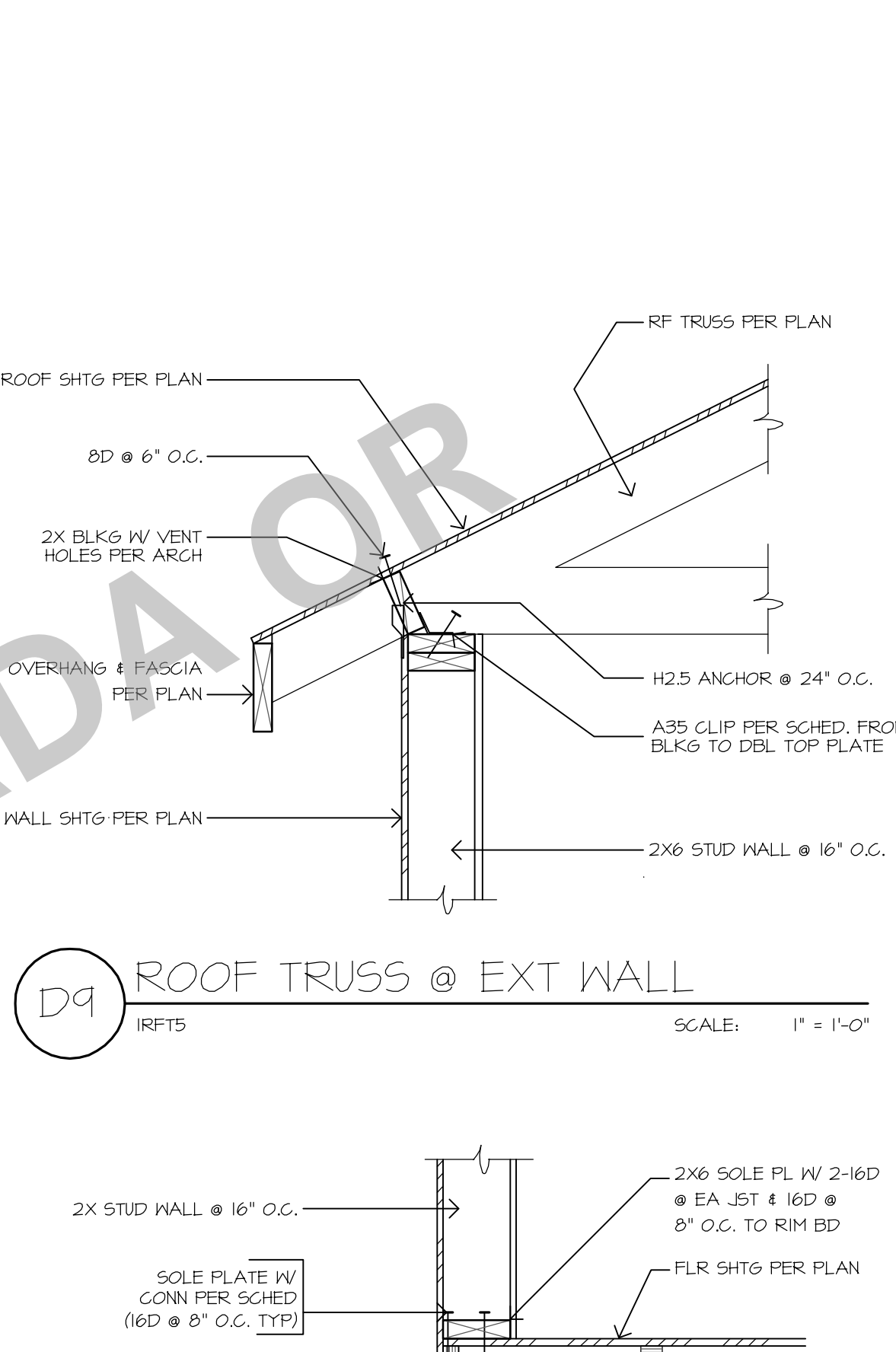
D1 PORTAL FRAME ELEVATION HLDPORTAL4 SCALE: 1" = 1'-0"



D12 NARROW SHEAR PANEL STRAPPING HLD9K1A SCALE: 1" = 1'-0"



D10 ROOF TRUSS - END WALL SHEARWALL HLD10 SCALE: 1" = 1'-0"



D9 ROOF TRUSS @ EXT WALL HLD9 SCALE: 1" = 1'-0"



3151 NE SANDY BLVD. SUITE 100 PORTLAND, OR 97232

P: (503) 230-8876

JOBS@SHERMANENGINEERS.COM

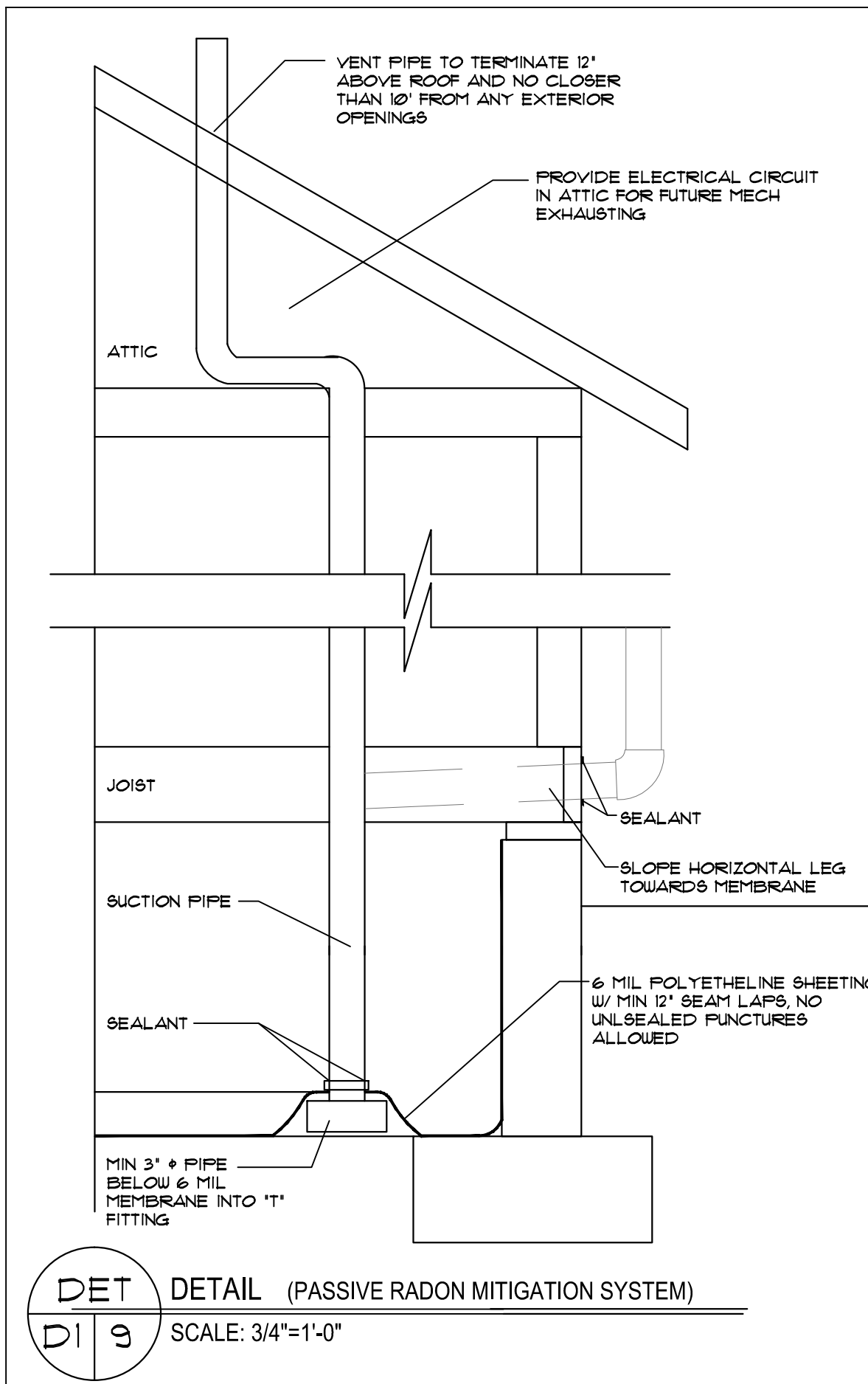
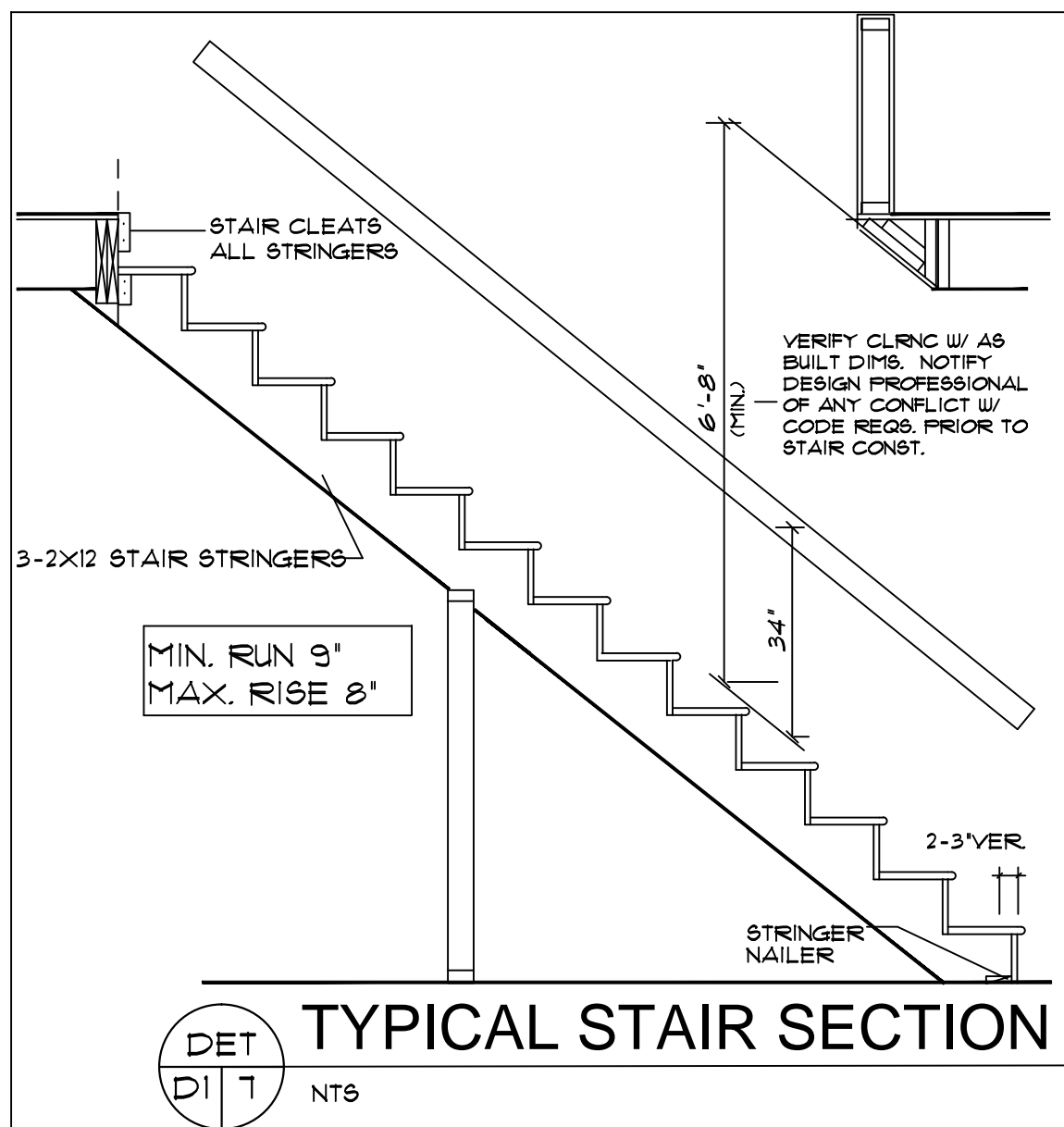
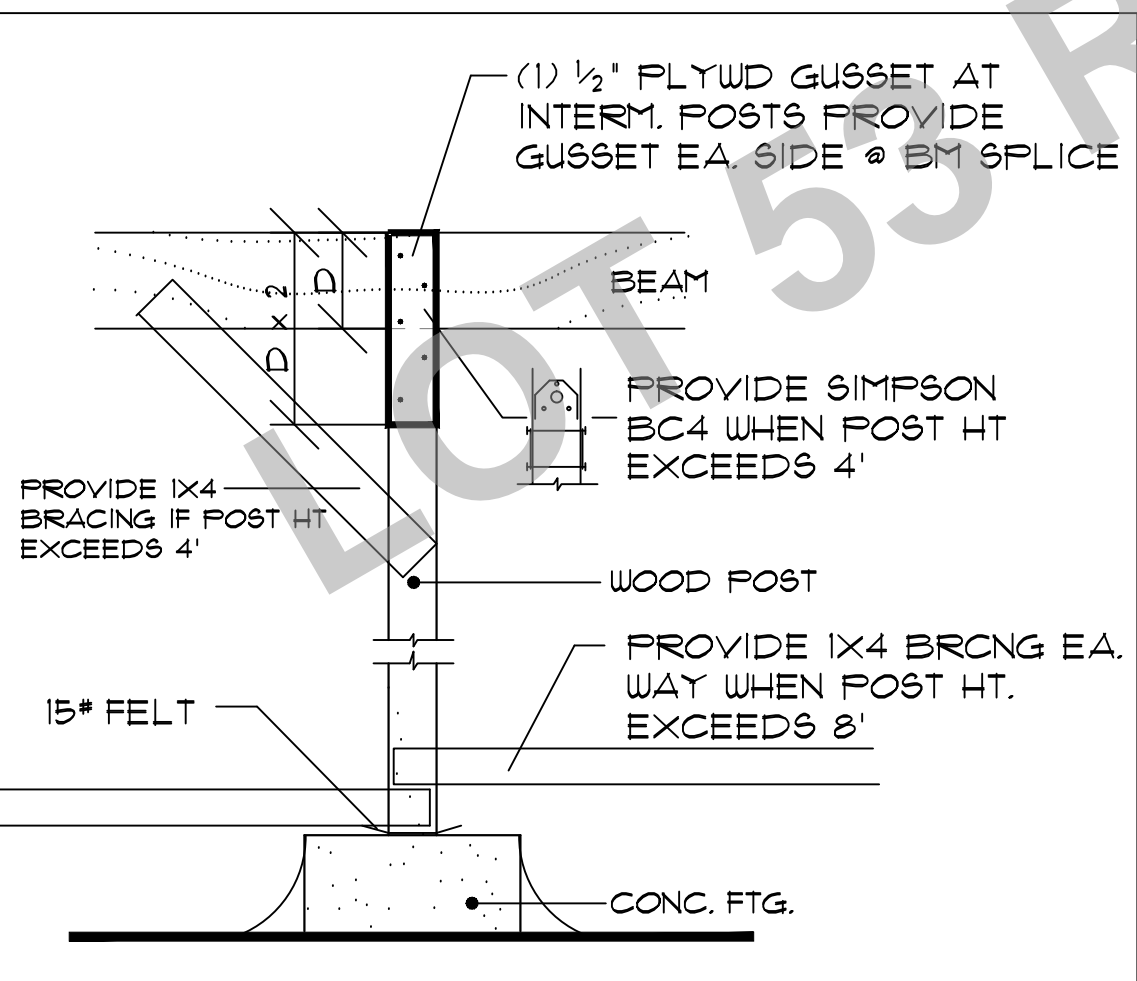
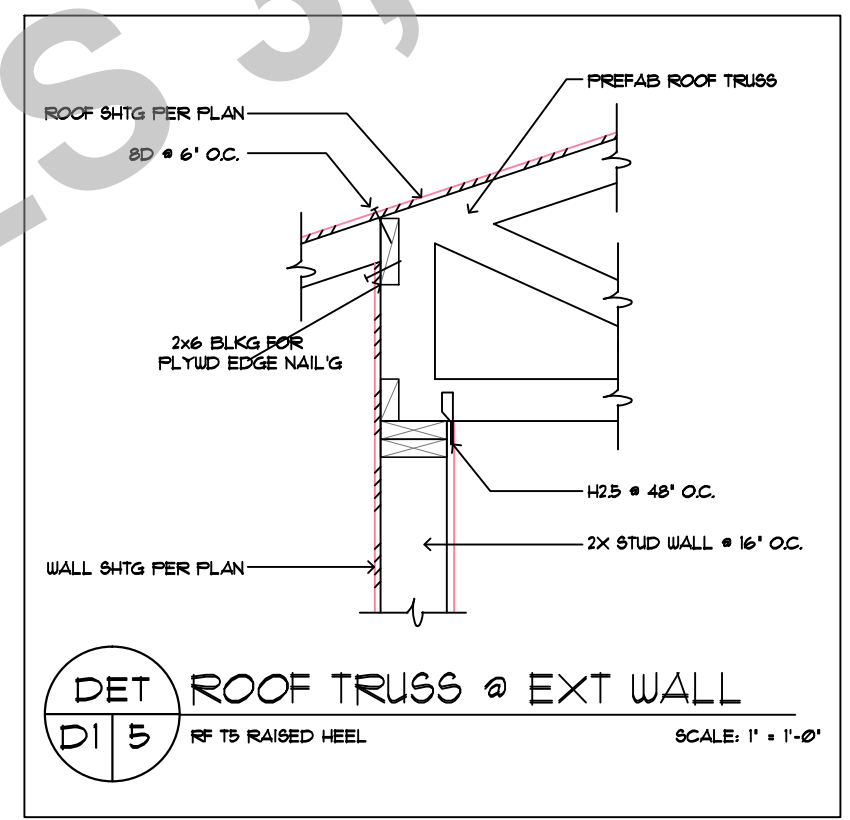
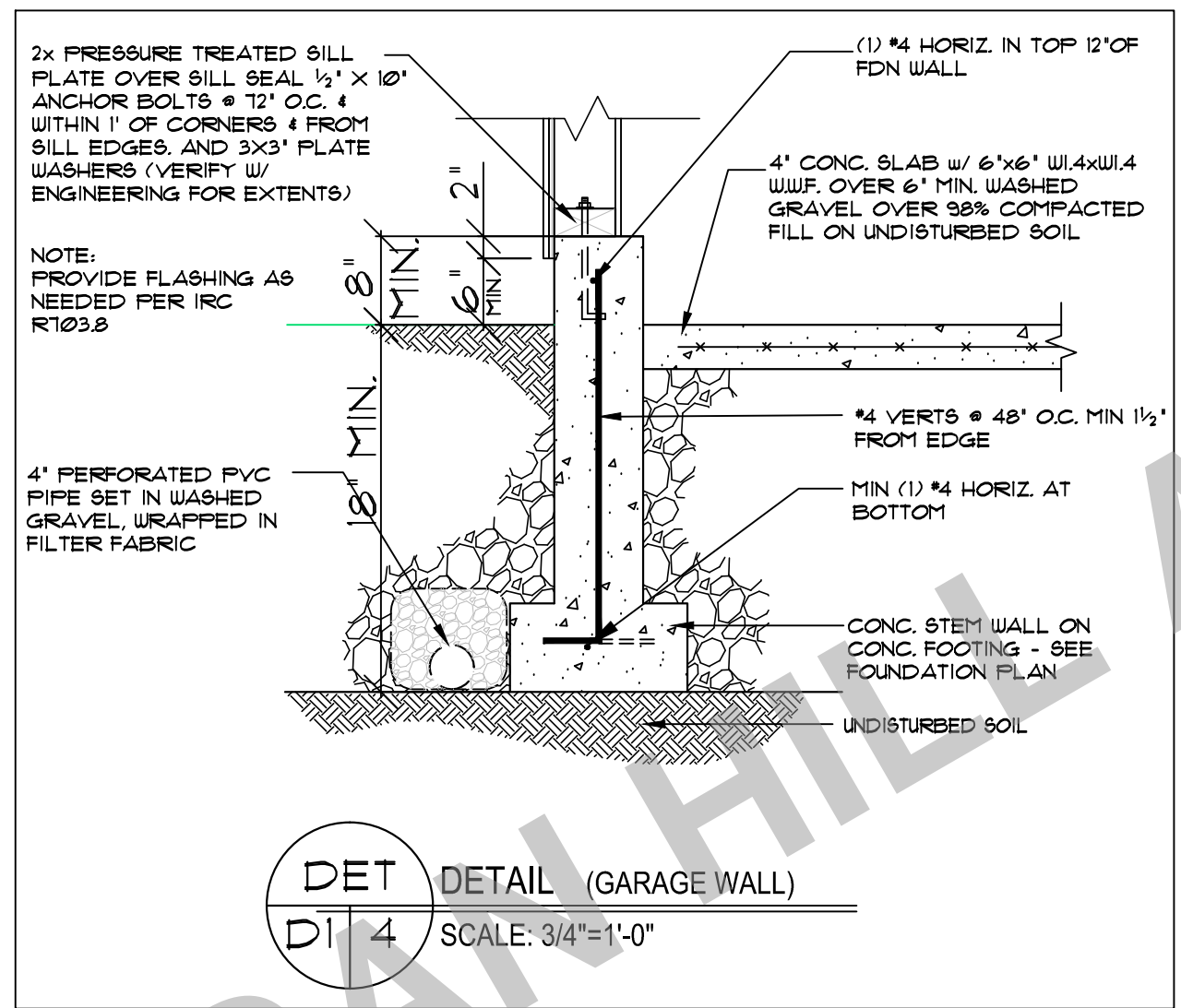
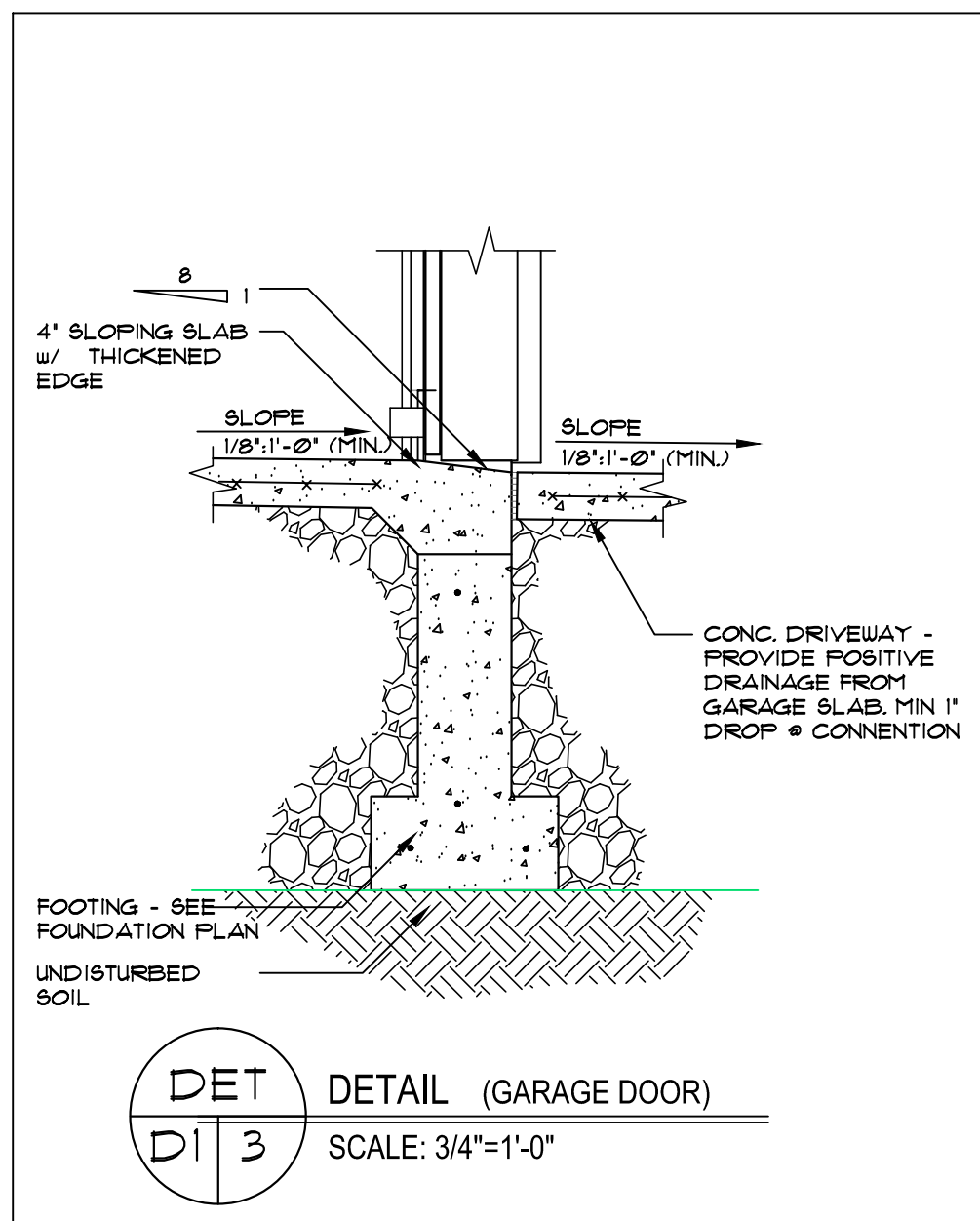
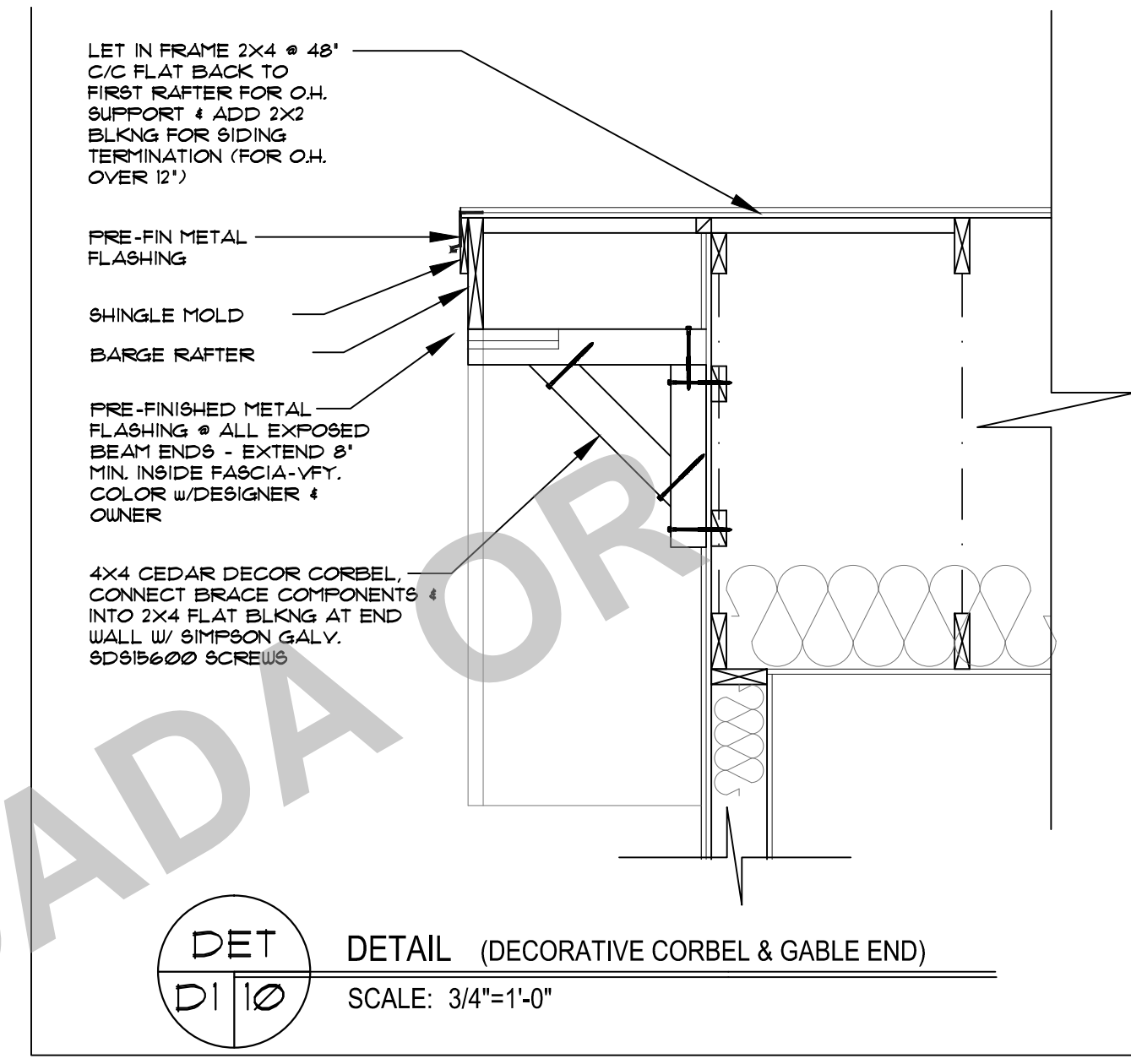
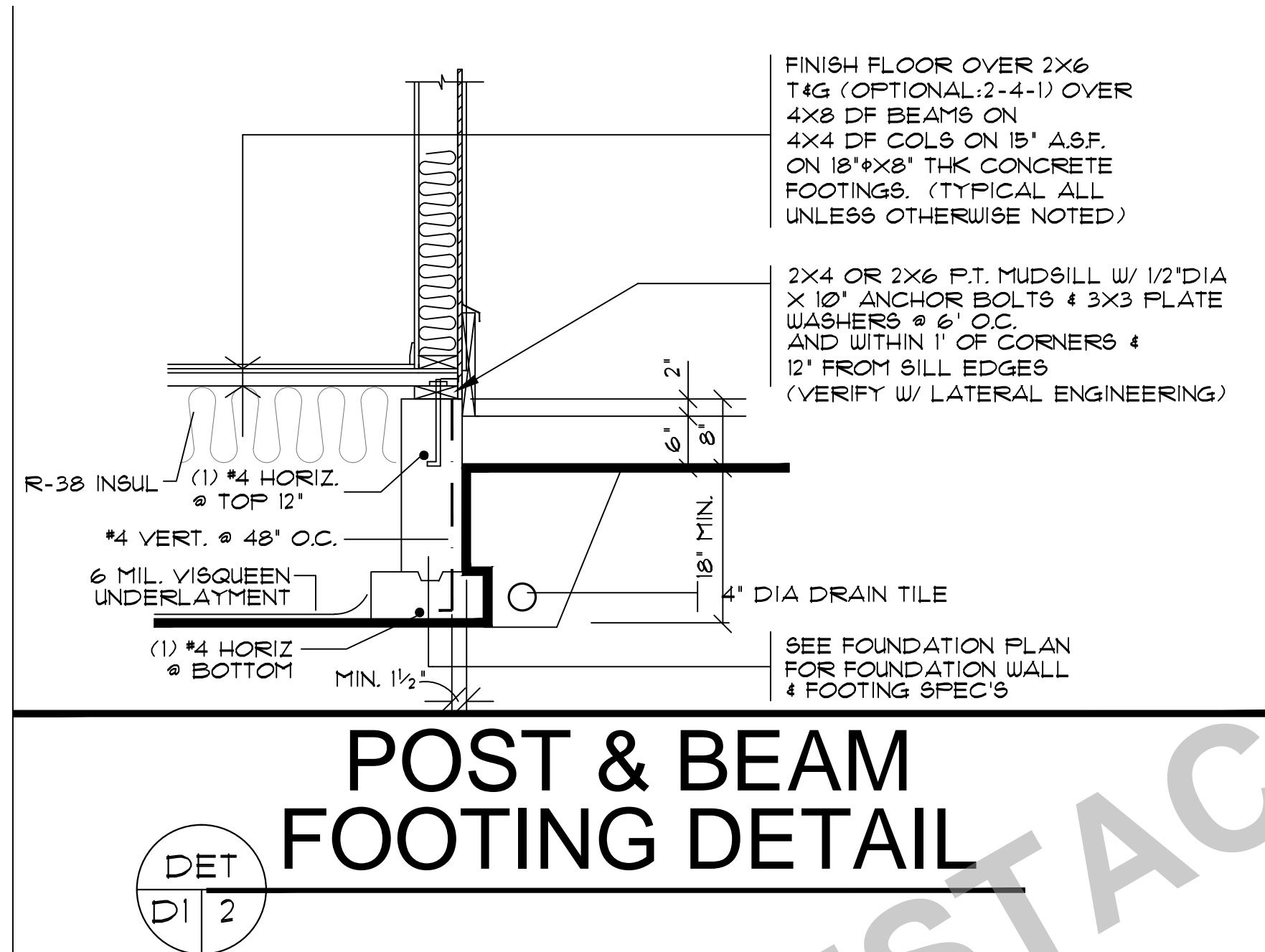
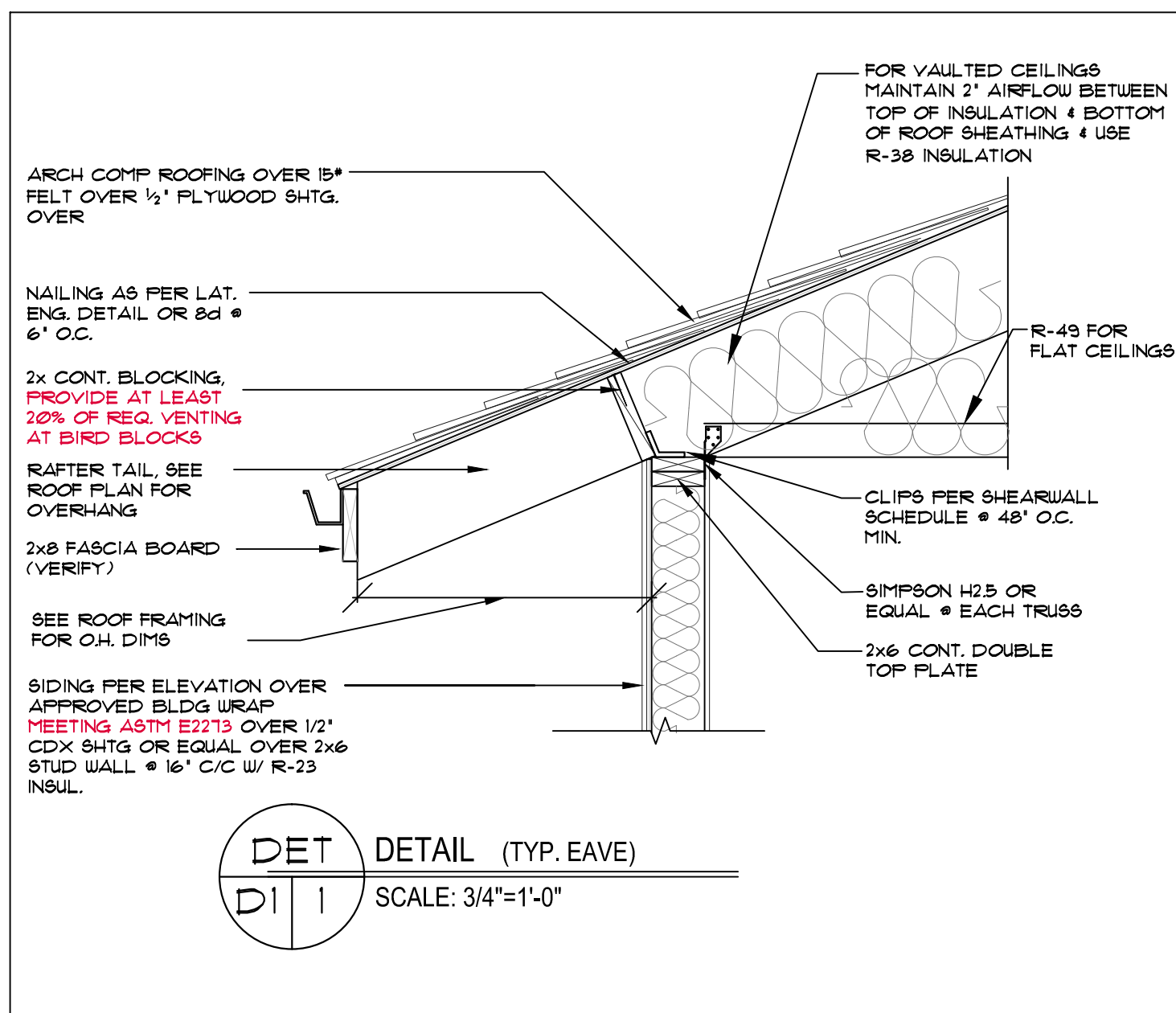
REVISIONS	
1	---
2	---
3	---
4	---
5	---

PROJECT # 18-PROV-05-UPDATE

PROJECT ADDRESS LOT 53 REGAN ESTATES ESTACADA, OR CLACKAMAS COUNTY

PROJECT TITLE CANEMAH A 2-CAR FOR: DESIGN PROVIDENCE

STRUCTURAL DETAILS OCTOBER 24, 2018 S1 OF -



PLAN NO: 21712
DATE: 11-12-18
SCALE: 1/4" = 1'-0"

THE CANEMAH NAIL RH3 LOT 53

TYPICAL DETAILS

CLIENT NAME: LOCATION: SHEET TITLE: SQUARE FEET:

DESIGN PROVIDENCE, INC.
PMB 352 12042 S.E. SUNNY SIDE RD. CLACKAMAS, OR 97015
Phone & Fax: 503-769-0446 Email: dsdesignprovidence@gmail.com Website: dsdesignprovidence.com

THESE PLANS HAVE BEEN LICENSED TO THE CUSTOMER FOR THE USE IN THE EXACT CONDITIONS AND LIMITS SPECIFIED BY THE CUSTOMER. THE USER OF ANY PART OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE SITE. THE USER SHALL BE RESPONSIBLE FOR NOTIFYING THE DESIGNER OF ANY CHANGES OR CONFLICTS WITH ANY OTHER PLANS OR CODES. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS ARISING FROM THE USE OF THESE PLANS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE SITE. THE USER SHALL BE RESPONSIBLE FOR NOTIFYING THE DESIGNER OF ANY CHANGES OR CONFLICTS WITH ANY OTHER PLANS OR CODES. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS ARISING FROM THE USE OF THESE PLANS.

SHEET NR: D1

GENERAL NOTES

- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE ORSC CODE AND ANY APPLICABLE STATE, COUNTY OR LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- DESIGN LOADS: ROOF 25 PSF (LIVE LOAD)
FLOOR 40 PSF (LIVE LOAD)
STAIRS 100 PSF
GARAGE FLOOR 125 PSF (2000# FT)
DECKS 75 PSF
(IF YOUR LOCAL AREA REQUIRES DIFFERENT DESIGN LOADS, CONSULT WITH A LOCAL STRUCTURAL ENGINEER TO DETERMINE THE APPROPRIATE REVISIONS.)
- PROVIDE INSULATION Baffles AT EAVE VENTS BETWEEN RAFTERS.
- ALL SMOKE DETECTORS SHALL BE POWERED BY 110V CURRENT, CONNECTED TO HOUSE ELECTRICAL SYSTEM, INTERCONNECTED WITH EACH ONE SO THAT IF ANY ONE TRIPS THEY WILL ALL SOUND. THEY SHALL ALSO HAVE A BATTERY BACKUP AND BE LOCATED IN EACH BEDROOM AND ON EACH FLOOR LEVEL.
- GUARDRAILS SHALL HAVE INTERMEDIATE RAILS SPACED SUCH THAT A 4" BALL CANNOT PASS THROUGH.
- PROVIDE GROUNDING ELECTRODE AT ELECTRICAL SERVICE CONSISTING OF A MINIMUM 20' LENGTH OF 1/2" STEEL REINFORCING BARS. ELECTRODE SHALL EXTEND 12" MIN. ABOVE THE PLATE LINE.
- THE MAXIMUM AMOUNT OF WATER USED BY NEW FLUSHING FIXTURES:
TOILETS 16 GALLONS/FLUSH
SHOWER HEADS 25 GALLONS/MINUTE
INTERIOR FAUCETS 25 GALLONS/MINUTE
- IN THE EVENT OF CONFLICT BETWEEN PERMITS, CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE LATEST EDITION OF THE ORSC.
- SPECIFICATIONS AND DRAWINGS INDICATE FINISHED STRUCTURE. BUILDER SHALL BE RESPONSIBLE FOR CONSTRUCTION METHODS, PROCEDURES, AND CONDITIONS (INCLUDING SAFETY), EXCEPT AS SPECIFICALLY INDICATED OTHERWISE IN THE CONTRACT DOCUMENTS.
- CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADINGS INDICATED ON DRAWINGS.
- BUILDER SHALL VERIFY ALL MATERIALS, DIMENSIONS, AND CONDITIONS SHOWN ON STRUCTURAL DRAWINGS OR NOTED IN STRUCTURAL SPECIFICATIONS. ANY VARIANCES WITHIN STRUCTURAL SPECIFICATIONS AND SPECIFICATIONS OR WITHIN CONDITIONS ENCOUNTERED AT JOB SITE, SHALL BE REPORTED TO OWNER IN WRITING BEFORE COMMENCEMENT OF ANY WORK EFFECTED BY SUCH VARIANCE.
- BUILDER SHALL RIGIDLY ADHERE TO ALL LAWS, CODES, AND ORDINANCES THAT APPLY TO THIS WORK. HE SHALL NOTIFY AND RECEIVE CLARIFICATION FROM OWNER IN WRITING OF ANY VARIATIONS BETWEEN CONTRACT DOCUMENTS AND REGULATIONS.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS OF APPLICABLE ICBO RESEARCH RECOMMENDATIONS, WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR. GENERIC EQUALS WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS MAY BE USED.
- NO VARIANCE BY A BUILDING OFFICIAL SHALL BE BINDING ON DESIGNERS.
- BUILDER SHALL INVESTIGATE SITE DURING CLEARING AND EARTHWORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES SUCH AS CESS POOLS, CISTERNS, FOUNDATIONS, ETC. IF ANY SUCH ITEMS ARE FOUND, OWNER SHALL BE NOTIFIED IMMEDIATELY.

FLOOR PLAN NOTES

- EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ FT WITH A MIN. WIDTH OF 20" AND A HEIGHT OF 22" AND A SILL LESS THAN 44" OFF THE FLOOR.
- ALL WINDOWS WITHIN 18" OF THE FLOOR AND WITHIN 24" OF ANY DOOR ARE TO HAVE TEMPERED GLAZING. SEE SECTION R502.4 IN ORSC FOR ADDITIONAL INFO.
- SKYLITES ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON INSIDE (UNLESS FILM EXIGLASS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25'. SKYLITE FRAME IS TO BE ATTACHED TO A 2" X CURB WITH MINIMUM OF 4" ABOVE ROOF PLANE.
- ALL TUB OR SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLAZING.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2" DEADBOLT LOCKS ON ALL EXTERIOR DOORS AND LOCKING DEVICES ON ALL DOORS OR WINDOWS WITHIN 10' VERTICAL OF GRADE. PROVIDE PEEP-HOLE # 54" - 66" ABOVE FLOOR ON EXTERIOR DOORS.
- PROVIDE COMBUSTION AIR VENTS W/ SCREEN AND BACK DAMPERS FOR FIREPLACES, WOOD STOVES, AND ANY APPLIANCES WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A MINIMUM OF 3" CPV FAN RANGE HOODS ARE ALSO TO BE VENTED TO OUTSIDE.

INSULATION SPECIFICATIONS

- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 & A SMOKE DENSITY RATING OF LESS THAN 450.
- PERIMETER CONC. WALLS TO BE PROTECTED W/ RIGID FIBERBOARD INSULATION FROM TOP OF CONC WALL TO NOT LESS THAN 24" BELOW GRADE.
- SLAB EDGE INSULATION IS TO BE R-15.
- HEATING DUCTS TO BE INSULATED W/ R-8.
- WINDOWS SHALL MEET REQUIRED U FACTORS FOR THE CONTRACTORS CHOSEN PATH OF COMPLIANCE SEE TABLE N102.4(K1)
- ONE EXTERIOR DOOR MAY BE INSULATED TO A U-FACTOR OF 0.29. ALL OTHER EXTERIOR DOORS MAY NOT EXCEED 0.34.

FRAMING NOTES

- NOTE: SEE TABLE 602.3(1) IN ORSC FOR FASTENER SCHEDULE LINK: <https://codes.iccsafe.org/public/public/chapter/content/10136/>
- ALL EXTERIOR WALL AND BEARING WALL OPENINGS TO HAVE 4X12 DF HEADERS UNLESS OTHERWISE INDICATED.
 - JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH 'SIMPSON' LUS TYPE OR EQUIV.
 - DOUBLE JOISTS THAT ARE ATTACHED TO FLUSH BMS ARE TO BE HUNG WITH 'SIMPSON' LUS TYPE OR EQUIV.
 - PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS OVER.
 - PROVIDE FIREBLOCKING, DRAFTSTOPS & FIRESTOPS AS PER THE ORSC SEC R602.2
 - LUMBER SPECIES:
A. POSTS, BEAMS, HEADERS NO2 DOUG FIR
JOISTS AND RAFTERS
B. SILLS, FLATES, BLOCKING NO3 DOUG FIR BRIDGING, ETC.
C. STUDS STUD GRADE DF
D. POST AND BEAM DECKING UTILITY GRADE DF
E. FLYWOOD SHEATHING 1/2" CDX PLY, 32/16
F. GULF-LAM BEAMS 10-2400, DRY ADH.
6. NAILING SCHEDULE SEE TABLE 602.3(1)
 - NOTCHES IN SOLID LUMBER JOISTS, RAFTERS, AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER. SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH OF THE DEPTH OF THE MEMBER. THE TENSION SIDE OF MEMBERS 4" (102mm) OR GREATER IN NOMINAL THICKNESS SHALL NOT BE NOTCHED EXCEPT AT ENDS OF THE MEMBERS. THE DIAMETER OF HOLES BORED OR CUT INTO MEMBERS SHALL NOT EXCEED ONE-THIRD OF THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN 2" TO THE TOP OR BOTTOM OF THE MEMBER, OR TO ANOTHER HOLE LOCATED IN THE MEMBER WHERE THE MEMBER IS ALSO NOTCHED. THE HOLE SHALL NOT BE CLOSER THAN 2" (51mm) TO THE NOTCH.
 - STUDS IN AN EXTERIOR WALL OR LOAD-BEARING PARTITIONS SHALL BE PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-LOAD-BEARING PARTITIONS SHALL BE PERMITTED TO BE NOTCHED TO A DEPTH NOT TO EXCEED 50% OF A SINGLE STUD WIDTH. STUDS SHALL BE PERMITTED TO BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO GREATER THAN 40% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO CLOSER THAN 2" TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH.
 - INSTALL ALL HORIZONTAL MEMBERS WITH CROWN UP.
 - ALL MEMBERS IN BEARING SHALL BE ACCURATELY CUT AND ALIGNED SO THAT FULL BEARING IS PROVIDED WITHOUT USE OF SHIMS. BEARING POSTS SHALL HAVE FULL BLOCKING OR SUPPORT UNDER.
 - ALL JOISTS SHALL HAVE A MINIMUM OF 2" BEARING AT SUPPORTS. LAPPING JOISTS SHALL HAVE 6" LAPS CENTERED OVER INTERIOR SUPPORTS.
 - LEDGERS AND STUD WALL FOUNDATION SILL PLATES SHALL BE BOLTED TO CONCRETE W/ ANCHOR BOLTS OF SIZE AND MINIMUM SPACING AS SHOWN ON DRAWINGS. AT LEAST TWO BOLTS SHALL BE PROVIDED FOR EACH PIECE W/ ONE BOLT WITHIN 12" OF EACH END.
 - ALL FLYWOOD WALL SHEATHING SHALL BE APPLIED AS FOLLOWS: CENTER VERTICAL JOINTS OVER STUDS AND CENTER HORIZONTAL JOINT OVER 2" BLOCKING OR PLATE. NAIL TOP OF PANELS TO DOUBLE TOP PLATE, AND NAIL BOTTOM OF PANELS TO ANCHORED SILL PLATE. APPLY GYPSUM BOARD SO THAT END JOINTS OF ADJACENT COURSE DO NOT OCCUR AT THE SAME STUD.

FOUNDATION NOTES

- FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL DEVOID OF ANY ORGANIC MATERIAL AND STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW THE FINAL GRADE.
- SOIL BEARING PRESURE ASSUMED TO BE 1500 PSF.
- ANY FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL COMPACTED TO 95%.
- CONCRETE TO DEVELOP A MIN. OF 3000 PSI AT 28 DAYS WITH A MIN. OF 6 BAGS OF CEMENT PER YARD AND A MAXIMUM SLUMP OF 4".
- CONCRETE SLABS TO HAVE CONTROL JOINTS AT 25' (MAXIMUM) INTERVALS EA WAY.
- CONCRETE SIDEWALKS TO HAVE 3/4" TOOLED JOINTS AT 15' ON MINIMUM.
- REINFORCING STEEL TO BE A-615 GRADE 40 WELDED WIRE MESH TO BE A-185.
- EXCAVATE THE SITE TO PROVIDE A MINIMUM OF 18" CLEARANCE UNDER ALL GIRDERS.
- COVER ENTIRE CRAWLSPACE WITH 6 MIL BLACK VISCQUEEN AND EXTEND UP FDN. TO FT. MUDSILL.
- PROVIDE A MINIMUM OF 1 SQ FT OF VENTILATION AREA FOR EACH 150 SQ FT OF CRAWLSPACE AREA. VENTS ARE TO BE CLOSABLE WITH 1/4" OPENINGS IN CORROSION RESISTANT SCREEN.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED OR PROTECTED WITH 301 ROLL ROOFINGS.
- BEAM POCKETS IN CONCRETE TO HAVE 1/2" AIRSPACE AT SIDES AND ENDS WITH A MINIMUM BEARING OF 3".
- PROVIDE CRAWLSPACE DRAIN AS PER SEC. R409.1 OF ORSC.
- THE GRADE AWAY FROM FND WALLS SHALL FALL 6" MIN. WITHIN FIRST 10'.
- SOILS FOR PERMANENT FILL AND CUT SLOPES SHALL NOT EXCEED 2 UNITS HORIZ. TO 1 UNIT VERT.
- BACKFILL SHALL NOT BE PLACED UNTIL WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO FOUNDATION OR WALLS W/ MORE THAN 4 UNBALANCED BACKFILL.
- BUILDER SHALL BE RESPONSIBLE FOR SUPPORT OF ALL TEMPORARY EXHAUSTS AND EXCAVATIONS.
- FOOTINGS SHALL BE FOUND ON FIRM, UNDISTURBED, NATIVE, FREE DRAINING SOILS. CONDITIONS FOUND TO BE OTHERWISE SHALL BE REPORTED TO OWNER.
- GRADE COVER OVER WHICH FOOTINGS AND SLABS-ON-GRADE ARE TO BE PLACED SHALL BE FREE OF EXPANSIVE OR COMPRESSIBLE DEBRIS AND ORGANIC MATERIAL.
- FOOTINGS AND SLABS-ON-GRADE CONCRETE SHALL NOT BE PLACED ON MUDDY OR FROZEN GROUND. SUB-GRADE FOR SLABS-ON-GRADE WHERE VAPOR BARRIER IS NOT REQUIRED SHALL BE DAMP AT TIME OF CONCRETE PLACEMENT.

ELECTRICAL REQUIREMENTS

- LIGHTING REQUIREMENTS:**
AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND IN BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, DETACHED GARAGES PROVIDED WITH ELECTRICAL POWER AND AT THE EXTERIOR SIDE OF EGRESS DOORS.
- STAIRWAY LIGHTING CONTROL:**
ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS OF ILLUMINATION TO THE STAIRS INCLUDING THE LANDINGS AND TREADS, TO BE CONTROLLED BY A WALL SWITCH AT EACH FLOOR LEVEL. INTERIOR STAIRS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING AT THE TOP AND BOTTOM OF THE STAIR. EXTERIOR STAIRS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIR. EXCEPTION: WHERE THE DIFFERENCE BETWEEN FLOOR LEVELS REQUIRES LESS THAN 6" STAIR RISERS.
- FIXTURES IN CLOTHES CLOSETS:**
SURFACE MOUNTED FLUORESCENT FIXTURES SHALL BE INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING PROVIDED THERE IS A MINIMUM CLEARANCE OF 6" BETWEEN THE FIXTURE AND THE NEAREST POINT OF A STORAGE SPACE.
- WET OR DAMP LOCATIONS:**
FIXTURES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE INSTALLED SO THAT WATER CANNOT ENTER OR ACCUMULATE IN WIRING COMPARTMENTS, LAMP HOLDERS OR OTHER ELECTRICAL PARTS. ALL FIXTURES INSTALLED IN WET LOCATIONS SHALL BE MARKED 'SUITABLE FOR WET LOCATIONS'. ALL FIXTURES INSTALLED IN DAMP LOCATIONS SHALL BE MARKED 'SUITABLE FOR WET LOCATIONS' OR 'SUITABLE FOR DAMP LOCATIONS'.
- LIGHT SWITCH ACCESS:**
ALL SWITCHES SHALL BE LOCATED TO ALLOW OPERATION FROM A READILY ACCESSIBLE LOCATION.
- RECEPTACLE OUTLET REQUIREMENTS:**
IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, DEN, BEDROOM OR SIMILAR ROOM OR AREA OF DUELLING UNITS, RECEPTACLE OUTLETS SHALL BE INSTALLED ALONG THE FRONT WALL LINE IN ANY WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE THAT IS 2 FEET OR MORE IN WIDTH.
- KITCHENS:**
RECEPTACLE OUTLETS, WITH GFI PROTECTION SHALL BE INSTALLED EVERY 24" ON ALL COUNTER SPACES THAT MEASURE 12" OR WIDER.
- BATHROOMS:**
AT LEAST ONE WALL RECEPTACLE OUTLET WITH GFI PROTECTION SHALL BE INSTALLED IN BATHROOMS ADJACENT TO EACH BATH LOCATION.
- OUTDOORS:**
AT LEAST ONE RECEPTACLE OUTLET WITH GFI PROTECTION SHALL BE INSTALLED OUTDOORS AT THE FRONT AND BACK OF EACH DUELLING UNIT HAVING DIRECT ACCESS TO GRADE.
- HALLWAYS:**
HALLWAYS OF 10 FEET OR MORE IN LENGTH SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET.
- HVAC OUTLET:**
A CONVENIENCE RECEPTACLE OUTLET SHALL BE INSTALLED FOR THE SERVING OF HEATING, AIR-CONDITIONING AND REFRIGERATION EQUIPMENT LOCATED IN ATTICS AND CRAWL SPACES.
- WET LOCATIONS:**
A RECEPTACLE INSTALLED IN A WET LOCATION SHALL BE IN A WEATHER PROOF ENCLOSURE, THE INTEGRITY OF WHICH IS NOT AFFECTED WHEN THE ATTACHMENT PLUG CAP IS INSERTED.
- *ADDITIONAL INFORMATION CAN BE FOUND IN THE REGION RESIDENTIAL SPECIALTY CODE BOOK IN SECTIONS:
E31-404 SWITCHES
E31-406 RECEPTACLE OUTLETS
E31-410 LIGHTING OUTLETS

ABRIDGED TABLE N101.1(1)

BUILDING COMPONENTS	REQUIRED VALUE
WALL INSULATION ABOVE GRADE	R = 21 Intermediate *
WALL INSULATION BELOW GRADE	R = 15/R - 21
FLAT CEILING	R = 49
VAULTED CEILING	R = 302 (after R-302** scissor truss)
UNDERFLOOR INSULATION	R = 30
SLAB FLOOR EDGE INSULATION	R = 15
HEATED SLAB FLOOR INTERIORS	R = 10
WINDOW GLASS	U = 0.30
SKYLIGHT GLASS	U = 0.50
EXT. DOORS W/2.5 SQ FT GLAZING	U = 0.30
EXT. DOORS W/2.5 SQ FT GLAZING FORCED AIR DUCT INSULATION	U = 0.20

- ADDITIONAL NOTES**
- As allowed in Section N101.4, thermal performance of a component may be adjusted provided that overall heat loss does not exceed the total resulting from conformance to the required U-value standards. Calculations to document equivalent heat loss shall be performed using the procedure and approved U-values contained in Table N101.1(1).
 - R-values used in this table are nominal, for the insulation only in standard wood framed construction and not for the entire assembly.
 - Wall insulation requirements apply to all exterior wood framed, concrete or masonry walls that are above grade. This includes cripple walls and rim joist areas. Nominal compliance with R-21 insulation and intermediate framing (N102.5.2) with insulated headers.
 - Below-grade wood, concrete or masonry walls include all walls that are below grade and do not include those portions of such walls that extend more than 24 inches above grade. R-21 for insulation in framed cavity.
 - Insulation levels for ceilings that have limited attic/reducer depth such as dormers, bays windows or similar features totaling not more than 150 square feet in area may be reduced to not less than R-21 when reduced, the cavity shall be filled (except for required vent spaces).
 - The maximum vaulted ceiling surface area shall not be greater than 50% of the total heated space floor area unless area has a U-factor no greater than U-0.03. The factor of 0.042 is representative of a vaulted scissor truss. A 10 inch deep rafter vaulted ceiling with R-30 insulation is U-0.023 and complies with this requirement, not to exceed 50% of the total heated space floor area.
 - Sliding glass doors shall comply with window performance requirements.
 - Reduced area may not be used as a trade off criterion for thermal performance of any component.
 - A maximum of 20 square feet of exterior door area per dwelling unit can have a U-factor of .54 or less.
 - Glazing that is either double pane with low-e coating on one surface, or triple pane shall be deemed to comply with this U-30 requirement.

TABLE N1101.1(2) ADDITIONAL MEASURES

Envelope Enhancement Measures (Select One)	Conservation Measures (Select One)
1 High efficiency walls Exterior walls—U-0.045/R-21 cavity insulation + R-5 continuous	
2 Upgraded features Exterior walls—U-0.057/R-23 intermediate or R-21 advanced, Framed floors—U-0.026/R-38, and Windows—U-0.28 (average UA)	
3 Upgraded features Exterior walls—U-0.055/R-23 intermediate or R-21 advanced, Flat ceiling—U-0.017/R-60, and Framed floors—U-0.026/R-38	
4 Super Insulated Windows and Attic OR Framed Floors Windows—U-0.22 (Triple Pane Low-e), and Flat ceiling—U-0.017/R-60 or Framed floors—U-0.026/R-38	
5 Air sealing home and ducts Mandatory air sealing of all wall coverings at top plate and air sealing checklist ¹ , and Mechanical whole-building ventilation system with rates meeting M1503 or ASHRAE 62.2, and All ducts and air handlers contained within building envelope ² or All ducts sealed with mastic ³	
6 High efficiency thermal envelope UA ⁹ Proposed UA is 8% lower than the code UA	
	A High efficiency HVAC system ⁸ Gas-fired furnace or boiler AFUE 94%, or Air source heat pump HSPF 9.5/15.0 SEER cooling, or Ground source heat pump COP 3.5 or Energy Star rated
	B Ducted HVAC systems within conditioned space All ducts and air handlers contained within building envelope ⁴ Cannot be combined with Measure 5
	C Ductless heat pump Ductless heat pump HSPF 10.0 in primary zone of dwelling
	D High efficiency water heater ⁶ Natural gas/propane water heater with UEF 0.85 OR Electric heat pump water heater Tier 1 Northern Climate Specification Product

SECTION N1107 LIGHTING

- ALL PERMANENTLY INSTALLED INTERIOR AND EXTERIOR LIGHTING FIXTURES SHALL CONTAIN HIGH-EFFICIENCY LAMPS. SCREW-IN COMPACT FLUORESCENT AND LED LIGHTS SHALL BE USED. EXCEPT 2 INTERIOR AND 2 EXTERIOR PERMANENT FIXTURES ARE NOT REQUIRED TO HAVE HIGH EFFICIENCY LAMPS.
- THE BUILDING OFFICIAL SHALL BE NOTIFIED IN WRITING AT THE FINAL INSPECTION THAT THE PERMANENTLY INSTALLED FIXTURES HAVE MET THIS REQUIREMENT.

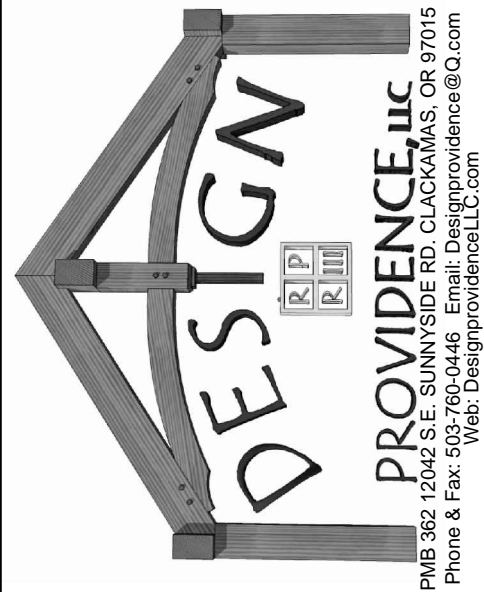
APPENDIX RADON CONTROL METHODS

- (ABRIDGED - SEE CODE SECTION FOR FULL DETAILS)
- AF102.3** Subfloor preparation. A layer of gas-permeable material shall be placed under all concrete slab and other floor systems that directly contact the ground and are within the walls of the living spaces of the building.
1. A uniform layer of clean aggregate, a min. of 4 inches thick (see code section for additional info).
 - AF102.3.2** (ACTIVE METHOD) Crawl space ventilation and building tightness. As an alternate method to Passive method, Requires non-closable fan vents, and whole house ventilation system (air exchanger) (see code section AF102.3.2 for specifications)
 - AF102.6** Passive subslab depressurization system.
AF102.6.1 Vent pipe. A minimum 3-inch-diameter (76 mm) ABS, PVC or equivalent gas-tight pipe shall be embedded vertically into the sub-slab aggregate (see code section for further details)
 - AF102.6.2** - AF102.6.2 see code section for these requirements
 - AF102.1** Building depressurization. Joints in air ducts and plenums in unconditioned spaces shall meet the requirements of Section M16.01. Thermal envelope air infiltration requirements shall comply with the energy conservation provisions in Chapter 11. Firestopping shall meet the requirements contained in Section R602.3.
 - AF102.2** Power source. To provide for future installation of an active sub-membrane or sub-slab depressurization system, an electrical circuit, terminated in an approved box shall be installed during construction in the attic or other anticipated location of vent pipe fans. An electrical supply shall also be accessible in anticipated location of system failure alarms.
 - AF102.3.1** (PASSIVE METHOD) Ventilation Crawl spaces shall be provided with vents to the exterior of the building. The minimum net area of ventilation openings shall comply with Section R409.1 of the code.
 - AF102.3.1.2** Soil-gas-retarder. The soil in crawl spaces shall be covered with a continuous layer of minimum 6-mil (0.25 mm) polyethylene soil-gas-retarder as per code section (m) 2" lap
 - AF102.3.1.3** Vent pipe. A plumbing tee or other approved connection shall be inserted horizontally beneath the sheathing and connected to a 3- or 4-inch-diameter (76 mm or 102 mm) fitting with a vertical vent pipe installed through the sheathing as per code section to min 12" above roof surface.

PLAN NO: 21712
DATE: 11-12-18
SCALE: 1/4" = 1'-0"

THE CANEMAH NAIL RH3 LOT 53

CLIENT NAME: LOCATION: SHEET TITLE: SQUARE FEET:



PROVIDENCE LLC
PMB 332 12042 S.E. SUNNYSIDE RD. CLACKAMAS, OR 97015
Phone & Fax: 503-703-0446 Email: Design@providencellc.com
Web: Design@providencellc.com

SHEET NR: **N**