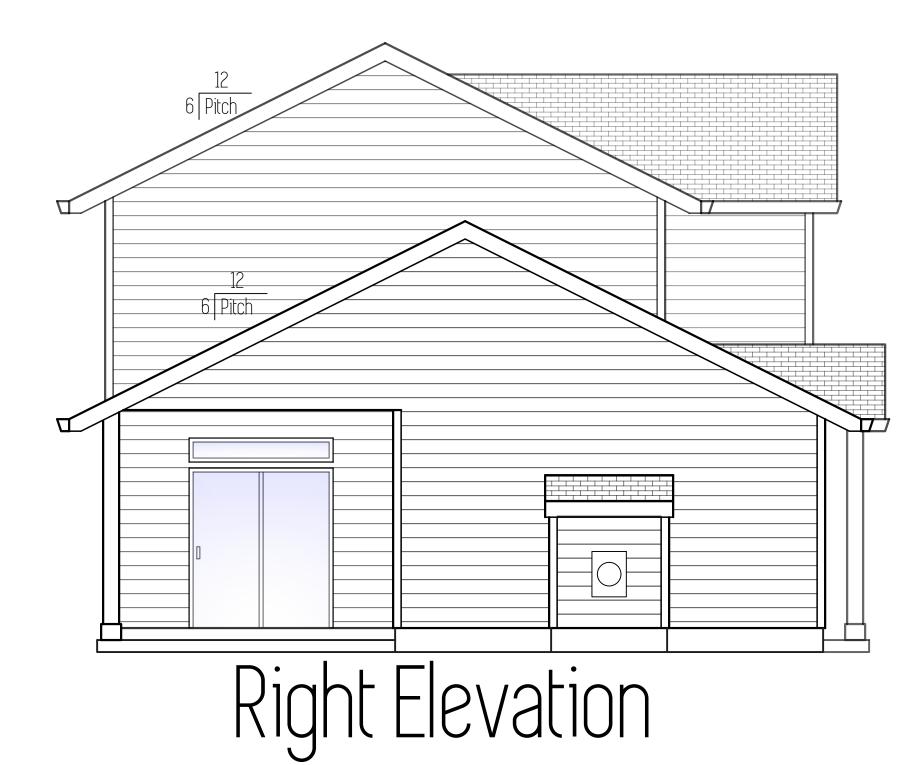
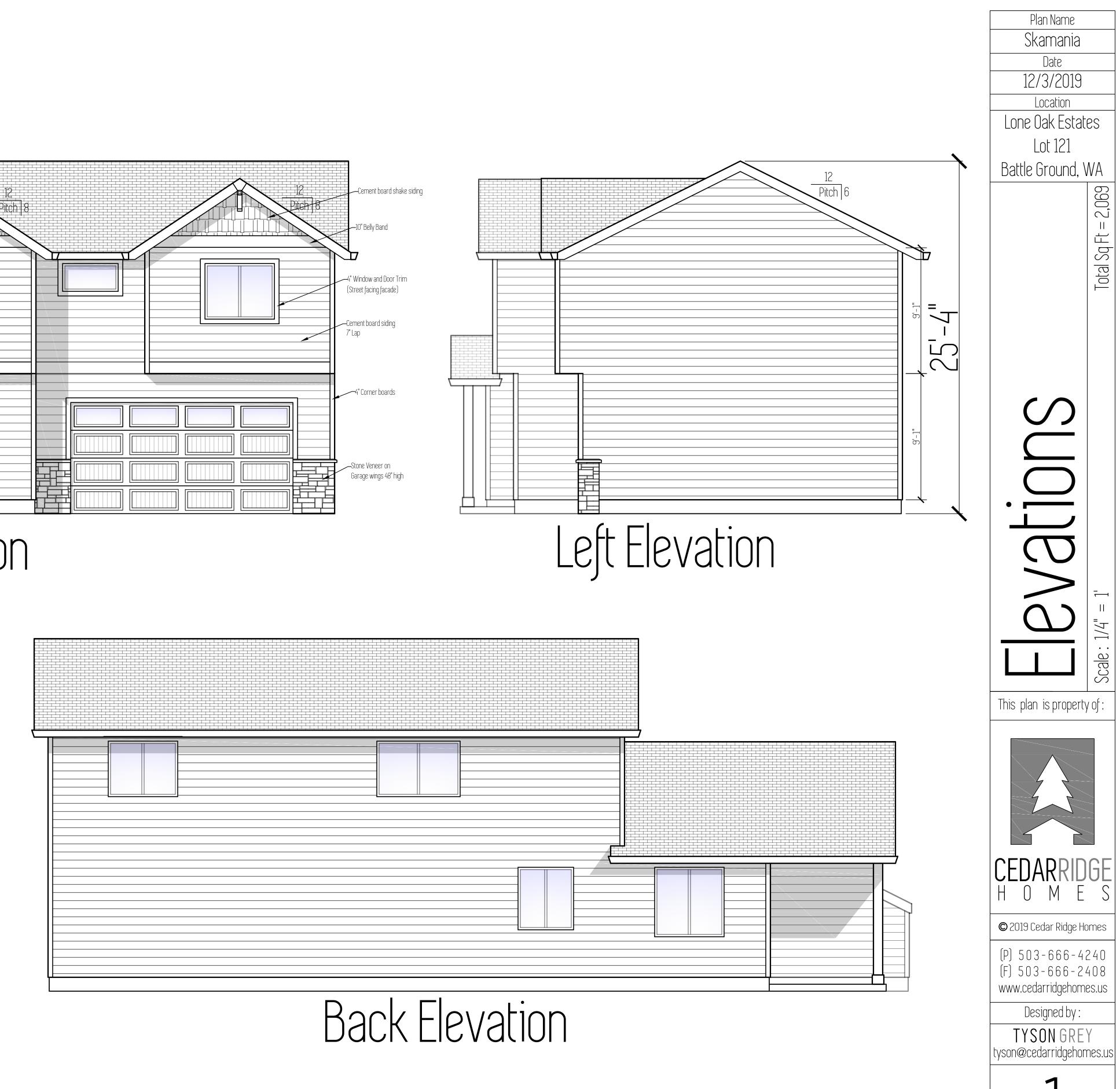
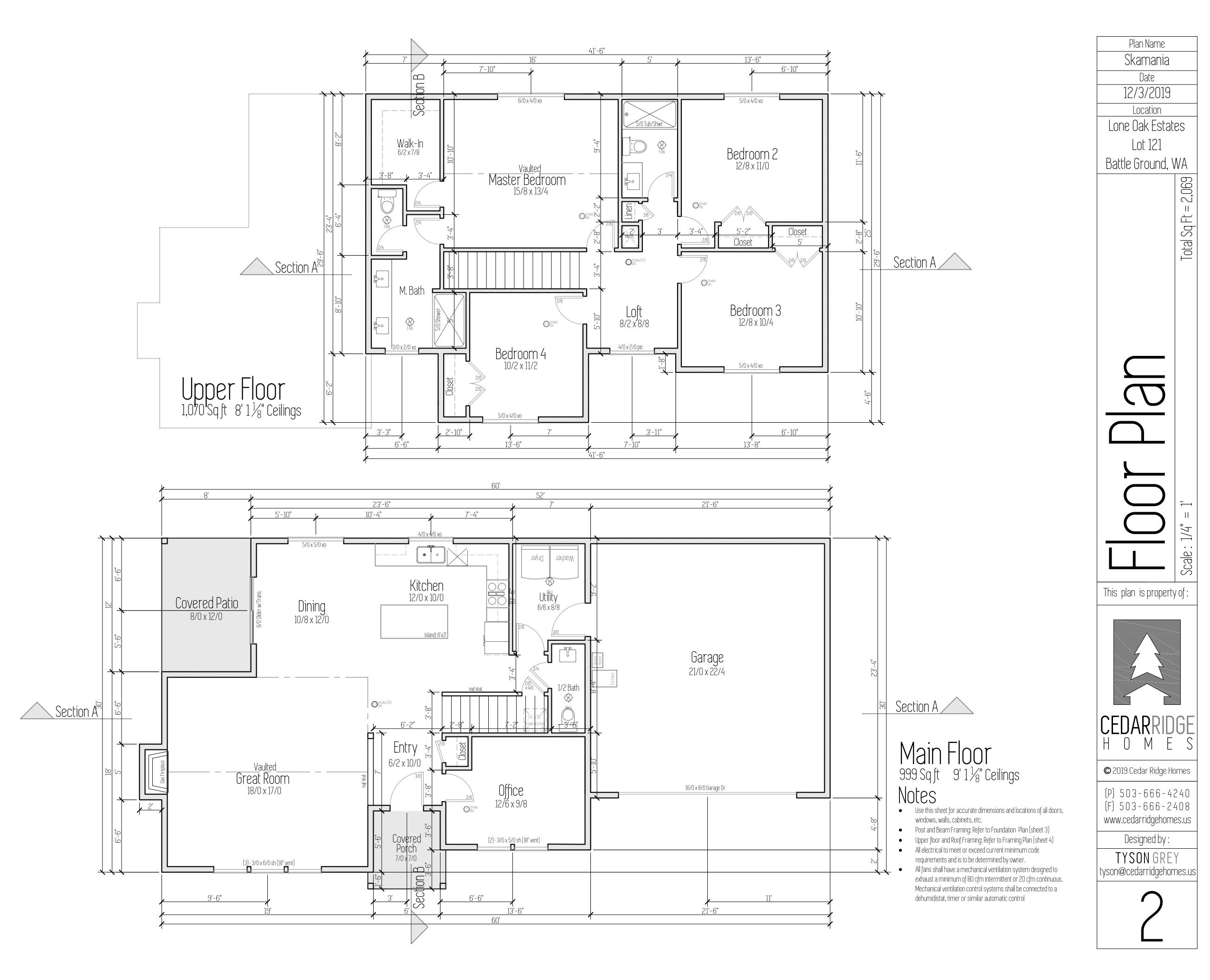
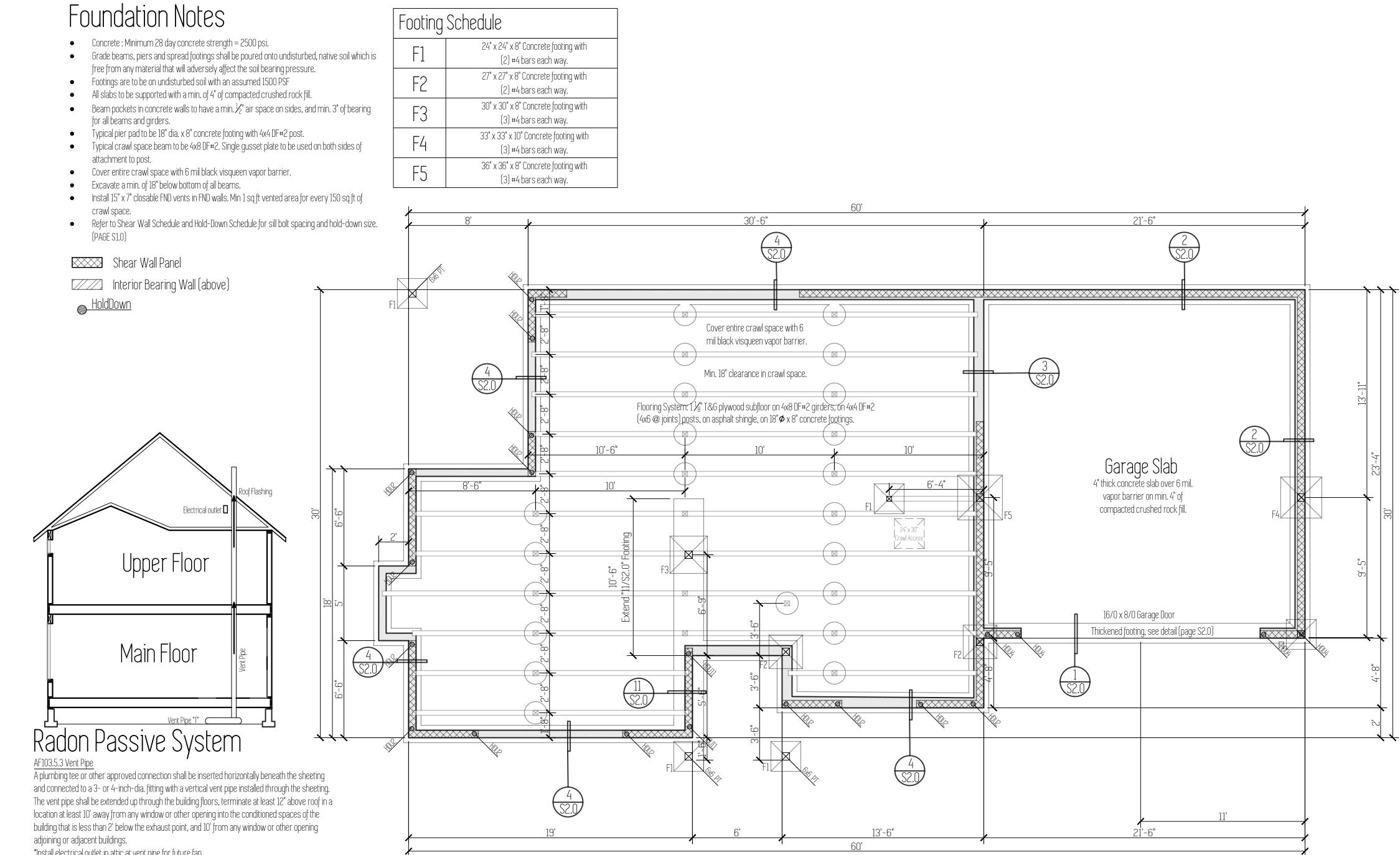


# Front Elevation



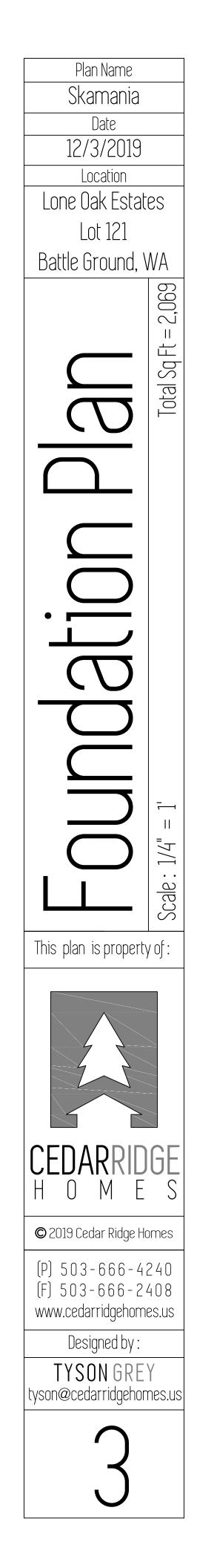






location at least 10' away from any window or other opening into the conditioned spaces of the building that is less than 2' below the exhaust point, and 10' from any window or other opening adjoining or adjacent buildings.

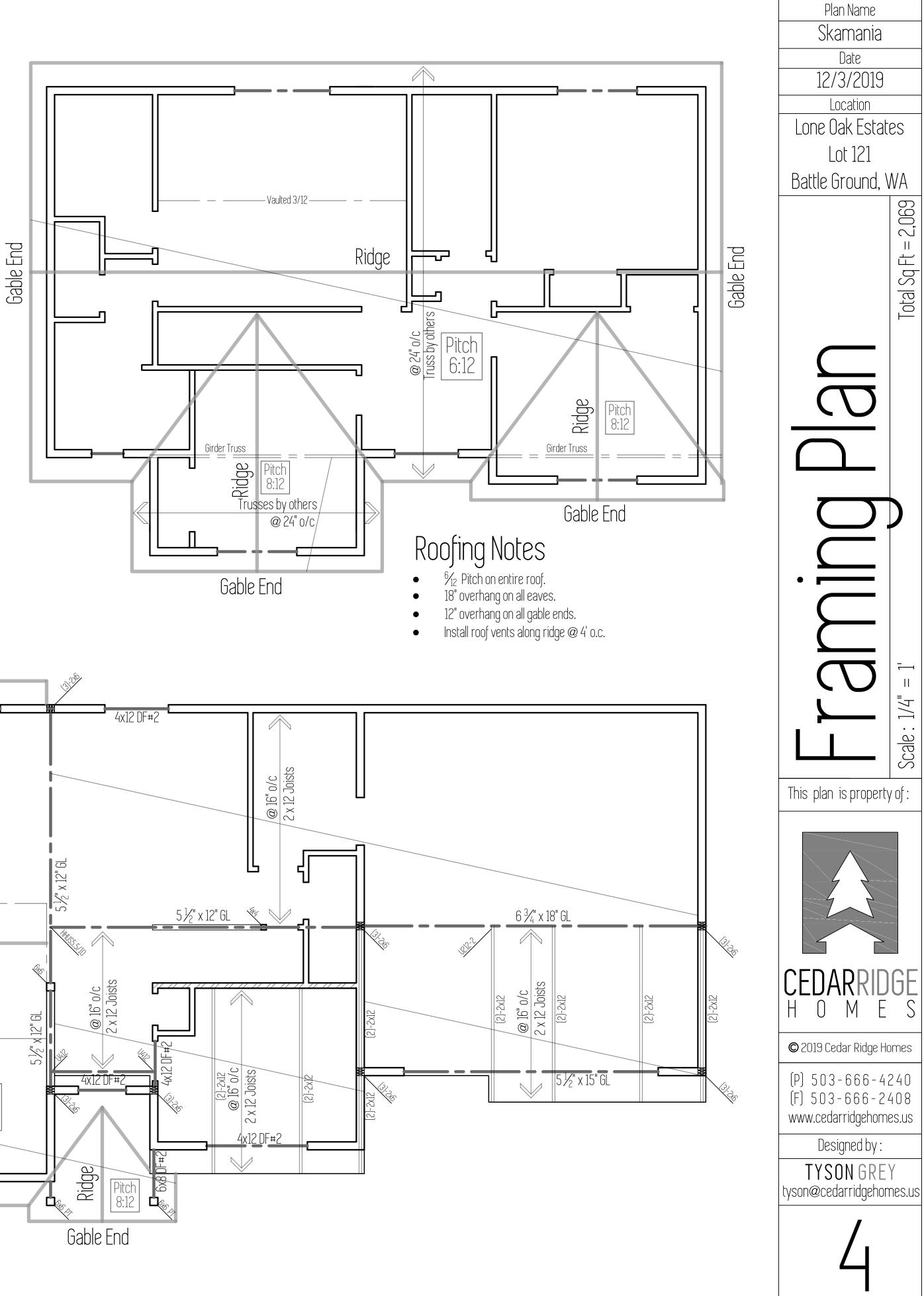
\*Install electrical outlet in attic at vent pipe for future fan.



### Upper Floor & Lower Roof Framing Plan

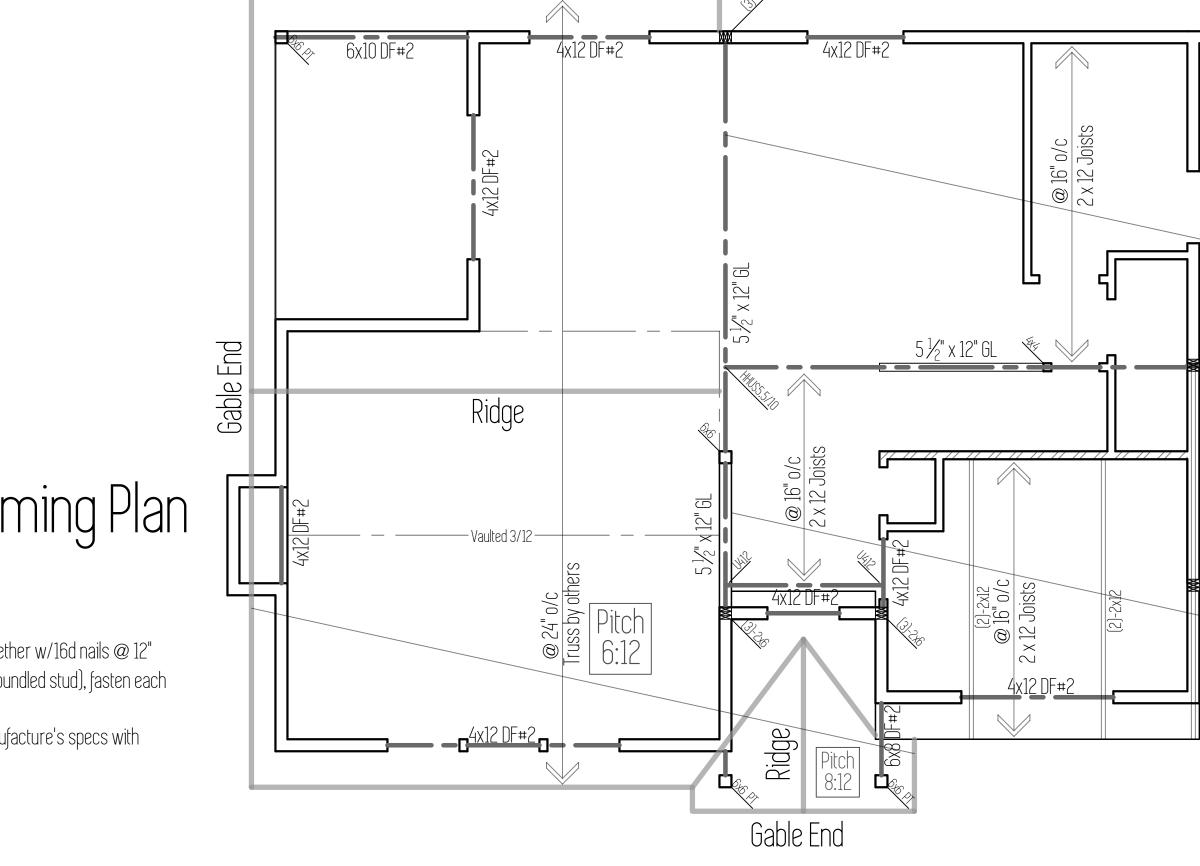
- Refer to sheet S1.0 for details on Shear Panels and Strapping.
  Exterior Headers to be 4x12 DF#2 (max. span 4') U.N.O.
- Interior Headers to be 4x8 DF#2 (max. span 4') U.N.O.
- Typical exterior wall post to be (2)-2x6 DF#2 (bundled stud), fasten each stud together w/16d nails @ 12" o/c, typ. entire length of stud, u.n.o. Typical interior wall post to be (2)-2x4 DF#2 (bundled stud), fasten each stud together w/16d nails @ 12" o/c, typ. entire length of stud, u.n.o.
- 5. Exterior post caps to be Simpson "PC" or "EPC", if exposed condition coat per manufacture's specs with exterior exposed and P.T. material.

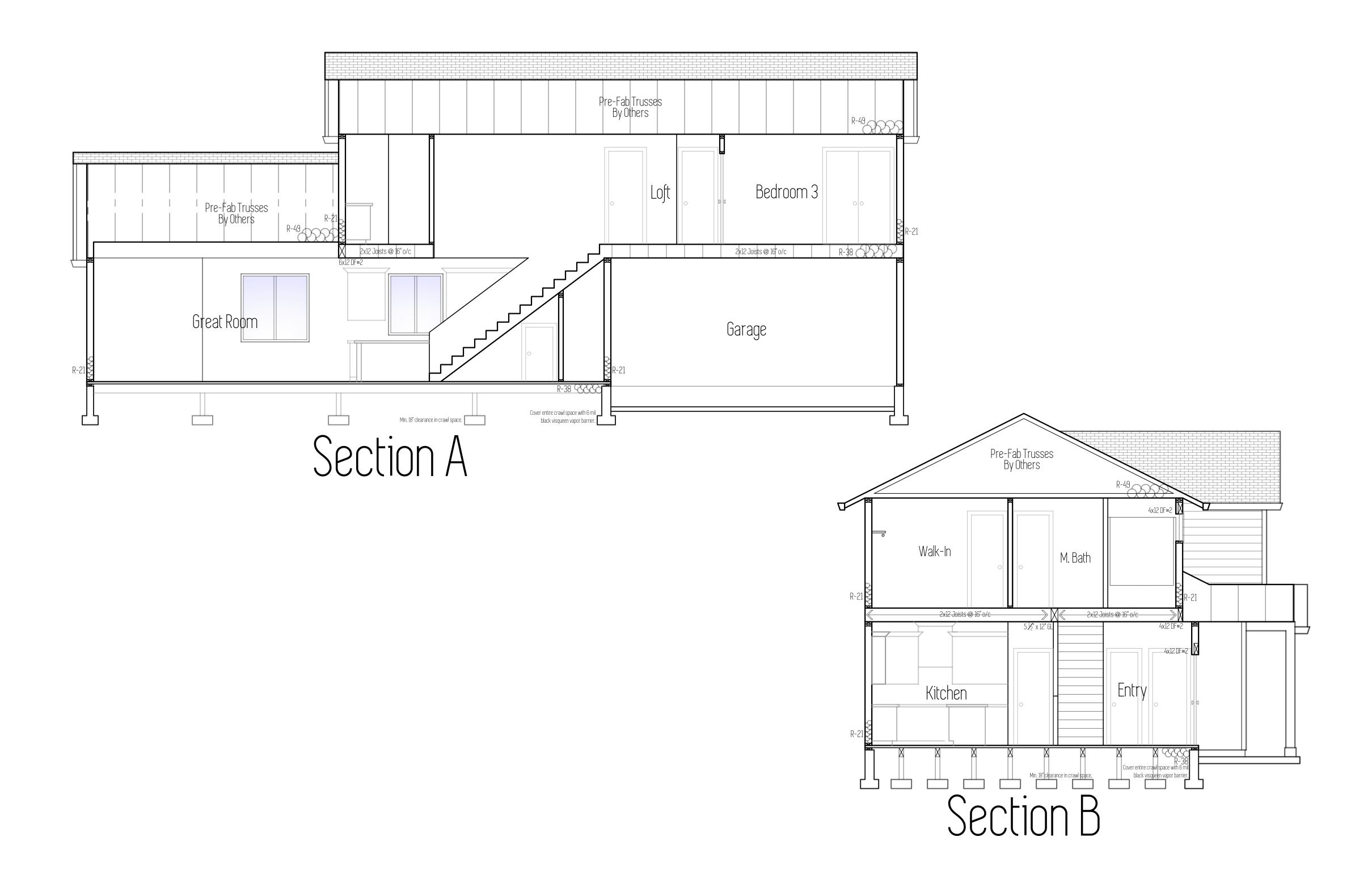
Interior Bearing Wall

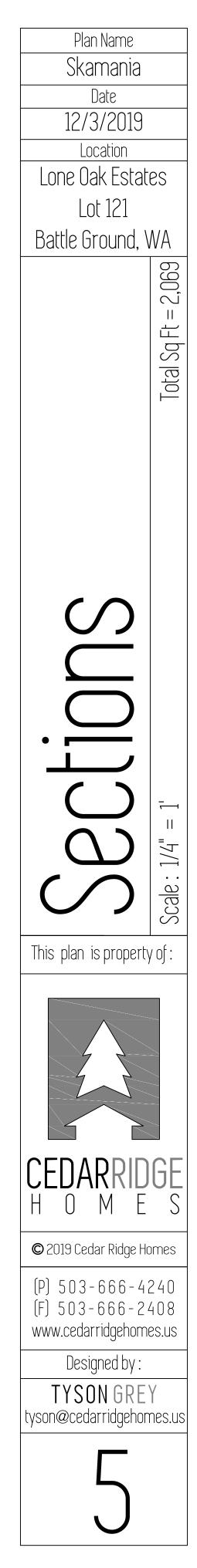


## Roof Framing Plan

- Refer to sheet S1.0 for details on Shear Panels and Strapping.
- Exterior Headers to be 4x8 DF#2 (max. span 6') U.N.O.
- Interior Headers to be 4x8 DF#2 (max. span 4') U.N.O.
- Typical exterior wall post to be (2)-2x6 DF#2 (bundled stud), fasten each stud together w/16d nails @ 12" o/c, typ. entire length of stud, u.n.o. Typical interior wall post to be (2)-2x4 DF#2 (bundled stud), fasten each stud together w/16d nails @ 12" o/c, typ. entire length of stud, u.n.o.
- Exterior post caps to be Simpson "PC" or "EPC", if exposed condition coat per manufacture's specs with exterior exposed and P.T. material.







#### SUMMARY OF WORK:

LOCATION: LOE LOT 121 1521 NW 27TH CT BATTLE GROUND, WASHINGTON STRUCTURAL ANALYSIS AND DESIGN FOR SINGLE FAMILY RESIDENCE

### **DESIGN LOADS:**

CODE: 2015 IBC USE OR OCCUPANCY OF BUILDINGS AND STRUCTURES RISK CATEGORY (ASCE TABLE 1.5-1): II WIND SPEED Vult: 135 MPH EXPOSURE 'B', Vasd = 105 MPH (IBC EQUATION 16-33) SEISMIC DESIGN CATEGORY: 'D'

GROUND SNOW LOAD: 25 PSF (ROOF SNOW LOAD: 25 PSF) ROOF DEAD LOAD: 17 PSF

FLOOR LIVE LOAD: 40 PSF FLOOR DEAD LOAD: 10 PSF

SOIL BEARING PRESSURE: 1500 PSF

#### SOIL PASSIVE SOIL PRESSURE: 200 PSF FRAMING REQUIREMENTS:

1. WALL STUDS TO BE 2X6 DFL-#2 @ 16" O.C., TYPICAL U.N.O. 2. ROOF SHEATHING TO BE 15/32" APA RATED CDX SHEATHING OR OSB. INSTALL PANELS HORIZONTALLY. SPACE 8d TRUSS BEARING POINT) -NAILS MAXIMUM 6" O.C. ALONG PANEL EDGES. FOR OTHER CONDITIONS, SPACE 8d NAILS MAXIMUM 12" O.C. ON INTERMEDIATE SUPPORTS.

3. TYPICAL WALL SHEATHING (TSN) TO BE  $1\frac{5}{32}$ " APA RATED CDX SHEATHING OR OSB. ALL PANEL EDGES TO BE BACKED WITH 2-INCH NOMINAL OR WIDER FRAMING. INSTALL PANELS HORIZONTALLY OR VERTICALLY. SPACE 8d NAILS MAXIMUM 6" O.C. ALONG PANEL EDGES. FOR OTHER CONDITIONS AND PANEL THICKNESSES, SPACE 8d NAILS MAXIMUM 12" O.C. ON INTERMEDIATE SUPPORTS. 4. FLOOR SHEATHING TO BE <sup>5</sup>/<sub>8</sub>" APA RATED CDX SHEATHING OR OSB. SPACE 8d NAILS MAXIMUM 6" O.C. ALONG

PANEL EDGES. FOR OTHER CONDITIONS, SPACE 8d NAILS MAXIMUM 12" O.C. ON INTERMEDIATE SUPPORTS. 5. SILL PLATE TO BE 2X P.T. U.N.O. (REFER TO SILL BOLT SPACING IN SCHEDULE BELOW). 6. FOR NAIL SIZES REFER TO BELOW.

SITEAN WALL SCITEDULE. SDFws TABLE 4.3A						
	SHEATHING THICKNESS (IN.)	NAILS/	DBL. STUD CONN. (FACE NAIL)	SILL BOLT <sup>(5)</sup> SPACING	SHEAR CAPACITY (SEISMIC)	SHEAI CAPACI (WIND
D6	15/32" (8)	8d @ 6" O/C	16d @ 9" O/C	<sup>1</sup> / <sub>2</sub> " Ø @ 36" O/C	260 PLF	365 PL

SHEAR WALL SCHEDULE. (1) (2) (4) SDRWS

D6	<sup>15</sup> / <sub>32</sub> " <sup>(8)</sup>	8d @ 6" O/C	16d @ 9" O/C	½" Ø@ 36" O/C	260 PLF	365 PLF
D4 <sup>(3)</sup>	<sup>15</sup> / <sub>32</sub> " <sup>(8)</sup>	8d @ 4" O/C	16d @ 6" O/C	½" Ø @ 24" O/C	380 PLF	532 PLF
D3 <sup>(3)</sup>	<sup>15</sup> / <sub>32</sub> " <sup>(8)</sup>	8d @ 3" O/C	16d @ 4" O/C	½" Ø @ 18" O/C	490 PLF	685 PLF
D2 <sup>(3)</sup>	<sup>15</sup> / <sub>32</sub> " <sup>(8)</sup>	8d @ 2" O/C	16d @ 3" O/C	½" Ø @ 16" O/C	640 PLF	895 PLF
E2 <sup>(6)</sup>	15/32"	10d @ 2" O/C	N/A	<sup>1</sup> ⁄ <sub>2</sub> " Ø @ 14" O/C <sup>(6)</sup>	770 PLF	1077 PLF
D3X2 <sup>(6)(7)</sup>	<sup>15</sup> / <sub>32</sub> " EACH	8d @ 3" O/C	N/A	½" Ø @ 12" O/C	980 PLF	1370 PLF
	FACE	(2) ROWS				
D2X2 <sup>(6)(7)</sup>		8d @ 2" O/C	N/A	½" Ø@ 9" O/C	1280 PLF	1790 PLF
	FACE	(2) ROWS				

#### NOTES:

LENGTH 2"  $2\frac{1}{2}$ " 3"  $3\frac{1}{2}$  

 (1) SHEATHING TO BE APA RATED SHEATHING OR OSB (GRADE C-C OR C-D STRUCTURAL II OR BETTER).
 LENGTH
 2" 2½" 3" 3½

 (2) ALL PANEL EDGES TO BE BACKED WITH 2-INCH NOMINAL OR WIDER FRAMING (DFL-#2). INSTALL PANELS EITHER
 (9) COMMON OR GALVANIZED BO

HORIZONTALLY OR VERTICALLY. SPACE NAILS MAXIMUM 6" O.C. ALONG PANEL EDGES FOR STUDS SPACED 24" O.C. FOR OTHER CONDITIONS AND PANEL THICKNESSES, SPACE NAILS MAXIMUM 12" O.C. ON INTERMEDIATE SUPPORTS.

(3) FRAMING AT ADJOINING PANEL EDGES SHALL BE A SINGLE 3" NOMINAL MEMBER OR (2) 2-INCH NOMINAL MEMBER FASTENED TOGETHER WITH 6d NAILS (SPACING ABOVE) TYPICAL ENTIRE HEIGHT OF DBL. STUD. NAILS SHALL BE STAGGERED WHERE NAILS ARE SPACED 2" O.C.

(4) AT SHEAR WALL LOCATIONS, REFER RW/S1 AND FF/S1 FOR ROOF TO WALL AND FLOOR TO FLOOR FRAMING. (5) INSTALL 3" SQUARE X  $\frac{1}{4}$ " STEEL PLATE WASHER. (6) FRAMING AT ADJOINING PANEL EDGES SHALL BE SINGLE 3X NOMINAL FRAMING MEMBERS AT EACH END OF THE PANEL. NAILS SHALL BE

STAGGERED WHERE NAILS ARE SPACED 2" O.C. INSTALL MIN. 3X P.T. SILL PLATE, U.N.O. (7) PLYWOOD TO BE INSTALLED ON BOTH SIDES OF PANEL. CED AT 1'-4" O/C, TYPICAL.

(9)	) GALVANIZED NAILS SHALL BE HOT-DIPPED OR TUMBLED.	
	3) IF $\gamma_{6}$ nominal thick plywood or osb is used, study to be	SPACEL

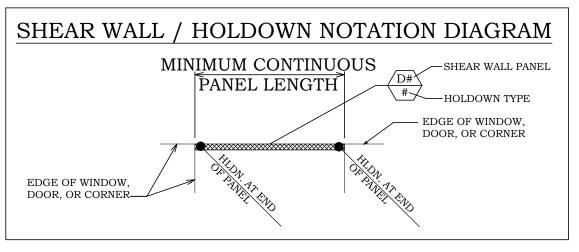
HOLD-DOWN SCHEDULE: (2) (3) (4)			
HOLDOWN NOTATION	'SIMPSON' HOLDOWN TYPE	INSTALLATION INSTRUCTIONS	
2	HDU2 (3075#)	STD. 'SB ½ X 24' MIN. 18" EMBEDMENT (Ie) CONCRETE. ANCHOR TO BE INSTALLED PLUMB AND LOCATED ALONG CENTER LINE OF (2)2X6 DFL-#2 WALL STUDS (MIN. 2½" EDGE DISTANCE). FASTEN STUDS TOGETHER WITH 16d NAILS @ 6" O/C ENTIRE HEIGHT OF STUD. INSTALL HOLDOWN PER MANUFACTURER'S SPECIFICATIONS.	
4	HDU4 (4565#)	STD. 'SB ½ X 24' MIN. 18" EMBEDMENT (Ie) CONCRETE. ANCHOR TO BE INSTALLED PLUMB AND LOCATED ALONG CENTER LINE OF (2)2X6 DFL-#2 WALL STUDS (MIN. 2½" EDGE DISTANCE). FASTEN STUDS TOGETHER WITH 16d NAILS @ 6" O/C ENTIRE HEIGHT OF STUD. INSTALL HOLDOWN PER MANUFACTURER'S SPECIFICATIONS.	
5	HDU5 (5645#)	STD. 'SB ½ X 24' MIN. 18" EMBEDMENT (Ie) CONCRETE. ANCHOR TO BE INSTALLED PLUMB AND LOCATED ALONG CENTER LINE OF (2)2X6 DFL-#2 WALL STUDS (MIN. 2½" EDGE DISTANCE). FASTEN STUDS TOGETHER WITH 16d NAILS @ 6" O/C ENTIRE HEIGHT OF STUD. INSTALL HOLDOWN PER MANUFACTURER'S SPECIFICATIONS.	
8	HDU8 (5980#,6970#, 7870#)	STD. 'SB ½ X 24' MIN. 18" EMBEDMENT (Ie) CONCRETE. ANCHOR TO BE INSTALLED PLUMB AND LOCATED ALONG CENTER LINE OF (3)2X6 DFL-#2 WALL STUDS (MIN. 2½" EDGE DISTANCE). FASTEN STUDS TOGETHER WITH 16d NAILS @ 6" O/C ENTIRE HEIGHT OF STUD. INSTALL HOLDOWN PER MANUFACTURER'S SPECIFICATIONS.	
11	HDU11 (9535#)	STD. 1"Ø ANCHOR BOLT OR ALTERNATIVE TO BE EMBEDDED INTO CONCRETE FOOTING (MIN. 12"). ANCHOR TO BE INSTALLED PLUMB AND LOCATED ALONG CENTER LINE OF 6X6 DFL-#2 (MIN. 2¾" EDGE DISTANCE). INSTALL HOLDOWN PER MANUFACTURE'S SPECIFICATIONS.	
14	HDU14 (14445#)	STD. 1"Ø ANCHOR BOLT OR ALTERNATIVE TO BE EMBEDDED INTO CONCRETE FOOTING (PER 2/S2). ANCHOR TO BE INSTALLED PLUMB AND LOCATED ALONG CENTER LINE OF 6X6 DFL-#2 (MIN. 2¾" EDGE DISTANCE). INSTALL HOLDOWN PER MANUFACTURE'S SPECIFICATIONS.	
28	MSTC28	INSTALL STRAP ACROSS FLOOR LINE, INSTALL MIN. (8) 16d NAILS INTO DOUBLE WALL STUDS ABOVE FLOOR AND INTO DOUBLE WALL STUDS BELOW. CENTER STRAP ON STUDS TO INSTALL NAILS INTO MIDDLE THIRD OF STUD.	
40	MSTC40	INSTALL STRAP ACROSS FLOOR LINE, INSTALL MIN. (16) 16d NAILS INTO DOUBLE WALL STUDS ABOVE FLOOR AND INTO DOUBLE WALL STUDS BELOW. CENTER STRAP ON STUDS TO INSTALL NAILS INTO MIDDLE THIRD OF STUD.	
52	MSTC52	INSTALL STRAP ACROSS FLOOR LINE, INSTALL MIN. (24) 16d NAILS INTO DOUBLE WALL STUDS ABOVE FLOOR AND INTO DOUBLE WALL STUDS BELOW. CENTER STRAP ON STUDS TO INSTALL NAILS INTO MIDDLE THIRD OF STUD.	
66	MSTC66	INSTALL STRAP ACROSS FLOOR LINE, INSTALL MIN. (34) 16d NAILS INTO DOUBLE WALL STUDS ABOVE FLOOR AND INTO DOUBLE WALL STUDS BELOW. CENTER STRAP ON STUDS TO INSTALL NAILS INTO MIDDLE THIRD OF STUD.	
NOTES			

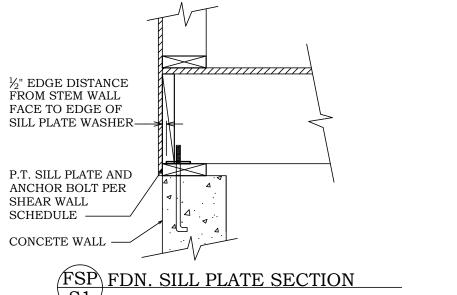
#### NOTES:

1) IN LIEU OF SIMPSON 'SSTB' BOLTS ANCHOR BOLTS TO BE A307 OR 'A36' THREADED ROD WITH STD. NUT AND 2" X 2" X ⅔6" STEEL PLATE WASHER ON BOTTOM OF BOLT. (2) HOLDOWNS TO BE FASTENED TO DOUBLE STUDS (CONTINUOUS FROM SILL PLATE TO DOUBLE TOP PLATE) AT

PANEL ENDS. WALL STUDS SHOULD HAVE PANEL EDGE NAILING FROM SHEAR WALL SHEATHING. (3) IF HOLDOWNS 2, 5, 6, AND 8 ARE INSTALLED FROM FLOOR TO FLOOR, REFER TO DETAIL FF/S1

 (4) U.N.O., INSTALL (1)-#4 CONTINUOUS HORIZONTAL TOP BAR 3" DOWN FROM TOP OF WALL AT ALL HOLDOWN ANCHORS. EXTEND BAR MIN. 5'-0"
 PAST HOLDOWN IN BOTH DIRECTIONS (BEND BAR AROUND AT CORNER CONDITION). FOR THIS 10'-0" SECTION INSTALL (1)-#4 VERTICAL BAR @ 24" D.C. TIE HOLDOWN ANCHOR TO HORIZONTAL TOP BAR.



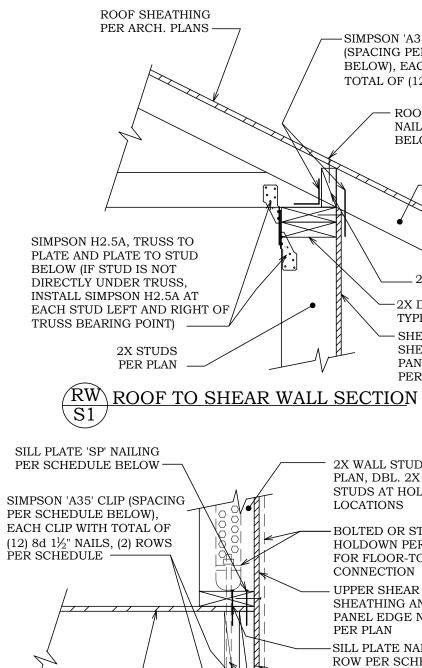


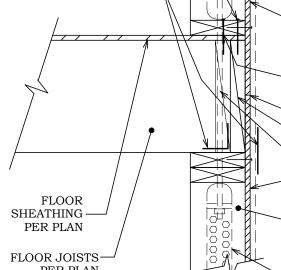
2X BLOCK-MANUFACTURED TRUSS (BY OTHERS) -SIMPSON H2.5A, TRUSS TO PLATE AND PLATE TO STUD BELOW (IF STUD IS NOT DIRECTLY UNDER TRUSS, INSTALL SIMPSON H2.5A AT EACH STUD LEFT AND RIGHT OF //

SIMPSON 'A35'-

CLIP @ 2'-0" O/C



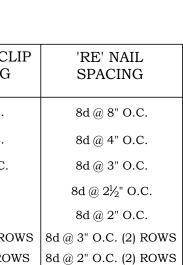




PER PLAN

FF FLOOR TO FLOOR SECTION AT SHEAR WALL S1/NOTE: . IN LIEU OF CLIPS, BREAK SHEAR WALL PANELS AT BLOCKING OR RIM JOIST (INSTALL PANEL EDGE NAILING AT BREAK).

PANEL TYPE	'SP' NAIL SPACING	SIMPSON C SPACINO
D6	16d @ 8" O.C.	1'-8" O.C.
D4	16d @ 4" O.C.	1'-2" O.C.
D3	16d @ 3" O.C.	0'-11" O.C.
D2	16d @ 3" O.C.	8" O.C.
E2	16d @ 2" O.C.	7" O.C.
D3X2	16d @ 3" O.C. (2) ROWS	1'-0" O.C. (2) R
D2X2	16d @ 2" O.C. (2) ROWS	10" O.C. (2) RC
	1	



) FOOT	REINFORCING BARS	CAPACITY		
F	l 2'-0"x2'-0"x8"	(2) #4 BARS EACH WAY	5500#	
F2	2 2'-3"x2'-3"x8"	(2) #4 BARS EACH WAY	7000#	
F	3 2'-6"x2'-6"x8"	(3) #4 BARS EACH WAY	8600#	
F2	2'-9"x2'-9"x8"	(3) #4 BARS EACH WAY	10500#	
F	5 3'-0"x3'-0"x8"	(3) #4 BARS EACH WAY	12500#	
F	5 3'-6"x3'-6"x10"	(4) #4 BARS EACH WAY	16000#	
F	4'-0"x4'-0"x1'-0"	(6) #4 BARS EACH WAY	21000#	
F8	3 4'-6"x4'-6"x1'-0"	(6) #4 BARS EACH WAY	27000#	
F	5'-0"x5'-0"x1'-0"	(7) #4 BARS EACH WAY	33750#	
(1):3" CLEAR FROM BOTTOM OF FOOTING				

#### FOUNDATION NOTES

1. REFER TO MAIN FLOOR SHEAR WALL PLAN FOR HOLDOWN SIZE. 2. THIS DRAWING IS FOR LATERAL INFORMATION ONLY, REFER TO ARCHITECTURAL PLANS FOR ALL OTHER INFORMATION.

3. TYPICAL PIER PAD BE 18" DIAM. X 8" CONCRETE FOOTING WITH 4X4 DFL-#2 POST. POST AND CONRETE FOOTING TO BE SEPARATED BY ASPHALT SHINGLE. 4. TYPICAL CRAWL SPACE BEAM TO BE C1: 4X8 DFL-#2. SINGLE GUSSET PLATE TO BE USED ON BOTH SIDES OF ATTACHMENT TO POST.

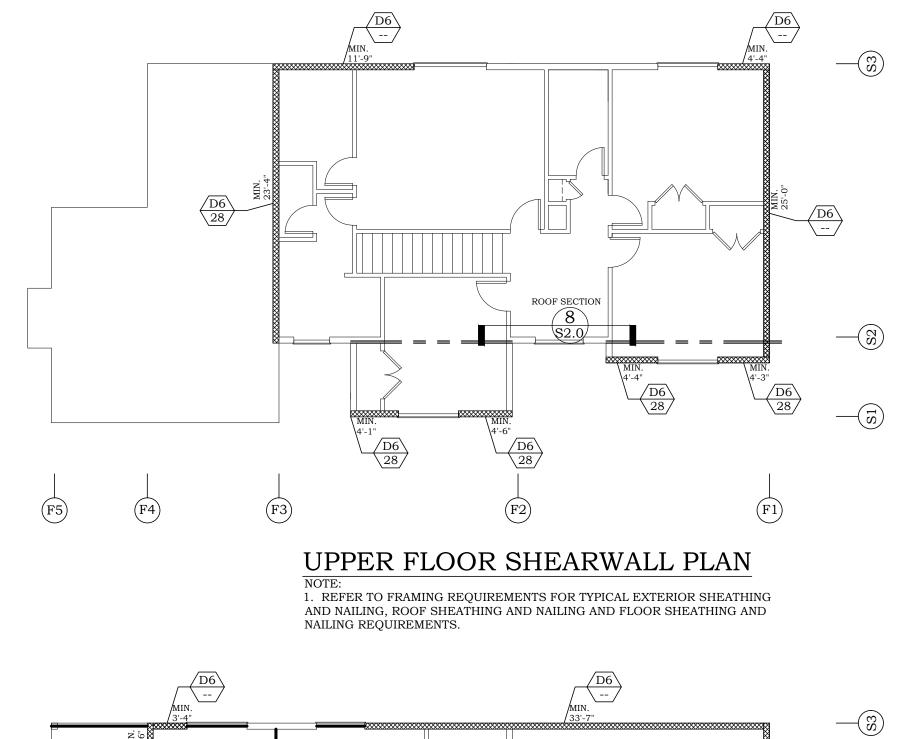
#### MATERIALS:

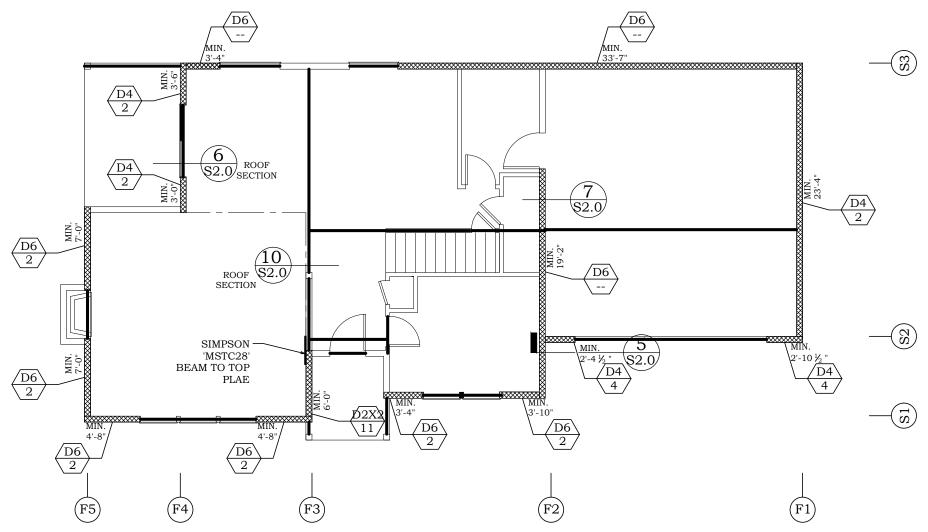
CONCRETE: MIN. 28-DAY CONCRETE STRENGTH = 2500 psi. GRADE BEAMS, PIERS, AND SPREAD FOOTINGS SHALL BE POURED ONTO UNDISTURBED, NATIVE SOIL WHICH IS FREE FROM ANY MATERIAL THAT WILL ADVERSELY AFFECT THE SOIL DESIGN BEARING PRESSURE REFERENCED ABOVE. ALL NON-STRUCTURAL WEATHER PROOFING AND FINISH MATERIAL TO BE DETERMINED "BY OTHERS"

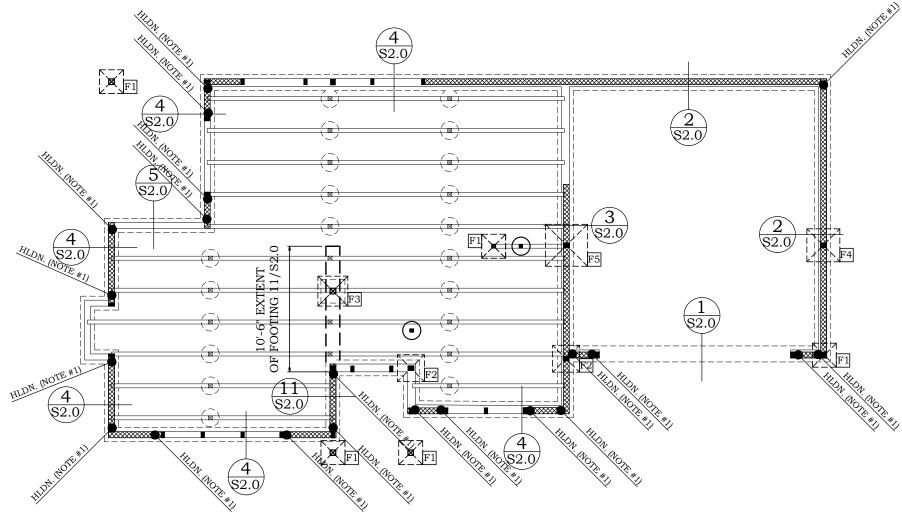
SLAB CONTROL JOINTS: PER OWNERS REQUIREMENTS OR DIRECTION:

#### MISC. SITE PREPARATIONS:

OBTAIN AND OBEY ALL APPLICABLE REGULATIONS REGARDING GRADING AND EXCAVATION IDENTIFY, MARK, AND PROTECT FROM DAMAGE ALL EXISTING UNDERGROUND PIPES. CONDUITS, AND CABLE (WATER SUPPLY, SANITARY SEWER, STORM SEWER, GAS, STEAM, ELECTRICAL AND COMMUNICATION CABLE). REMOVE SOIL WITH ORGANIC MATTER. PERFORM BACKFILL AND COMPACTION IN A SYSTEMATIC PATTERN, TO ASSURE COMPLETE AND CONSISTENT WORK. IF ANY OVER-EXCAVATION ACCIDENTALLY OCCURS, CORRECT IT WITH WELL-COMPACTED BACKFILL. PROVIDE TESTING AND INSPECTION OF BACKFILL AND COMPACTION. LAYER BACKFILL IN 6 IN. TO 12 IN INCREMENTS. COMPACT ALL FILL. USE STABLIZED FILL MATERIAL OF AN APPROVED TYPE AND FROM AN APPROVED SOURCE. TEST AND APPROVE MATERIAL DELIVERED FROM OTHER SITES. DO NOT ALLOW ANY DEBRIS TO BE MIXED WITH FILL. CURE CONCRETE TO FULL REQUIRED STRENGTH BEFORE BACKFILLING. PROVIDE DRAINAGE CATCHERS PER ARCHITECTURAL DRAWINGS.







— PANEL EDGE NAILING

- FACE NAIL PLATES WITH

- SHEAR WALL SHEATHING,

— PANEL EDGE NAILING

— DBL. TOP PLATE

BREAK ON DBL. TOP PLATE

-SIMPSON 'A35' CLIP (SPACING PER SCHEDULE BELOW), EACH CLIP WITH

TOTAL OF (12) 8d  $1\frac{1}{2}$ " NAILS

BELOW

- ROOF EDGE (RE)

\_ 2X BLOCK

- SHEAR WALL SHEATHING AND

PER PLAN

2X WALL STUDS PER

PLAN, DBL. 2X WALL STUDS AT HOLD-DOWN

-BOLTED OR STRAP

HOLDOWN PER PLAN

- UPPER SHEAR WALL

PANEL EDGE NAILING

- 2X BLOCKING OR RIM JOIST (DBL. BLOCK PER

- LOWER SHEAR WALL SHEATHING AND PANEL

- 2X WALL STUDS PER

PLAN, DBL. 2X WALL STUDS AT HOLDOWN

- HOLDOWN, SAME

TYPE AS ABOVE

EDGE NAILING PER PLAN

-SILL PLATE NAILING (2ND ROW PER SCHEDULE) - NOTE #1 BELOW

SHEATHING AND

FOR FLOOR-TO-FLOOR

LOCATIONS

CONNECTION

PER PLAN

SCHEDULE)

LOCATIONS

-2X DOUBLE TOP PLATE,

PANEL EDGE NAILING

TYPICAL PER PLAN

NAILING PER SCHEDULE

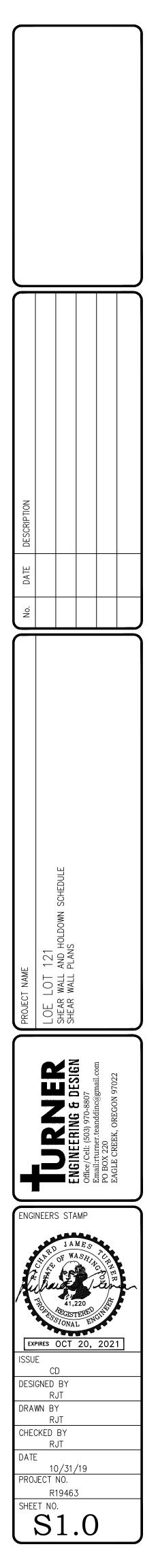
— EXTENDED EAVES

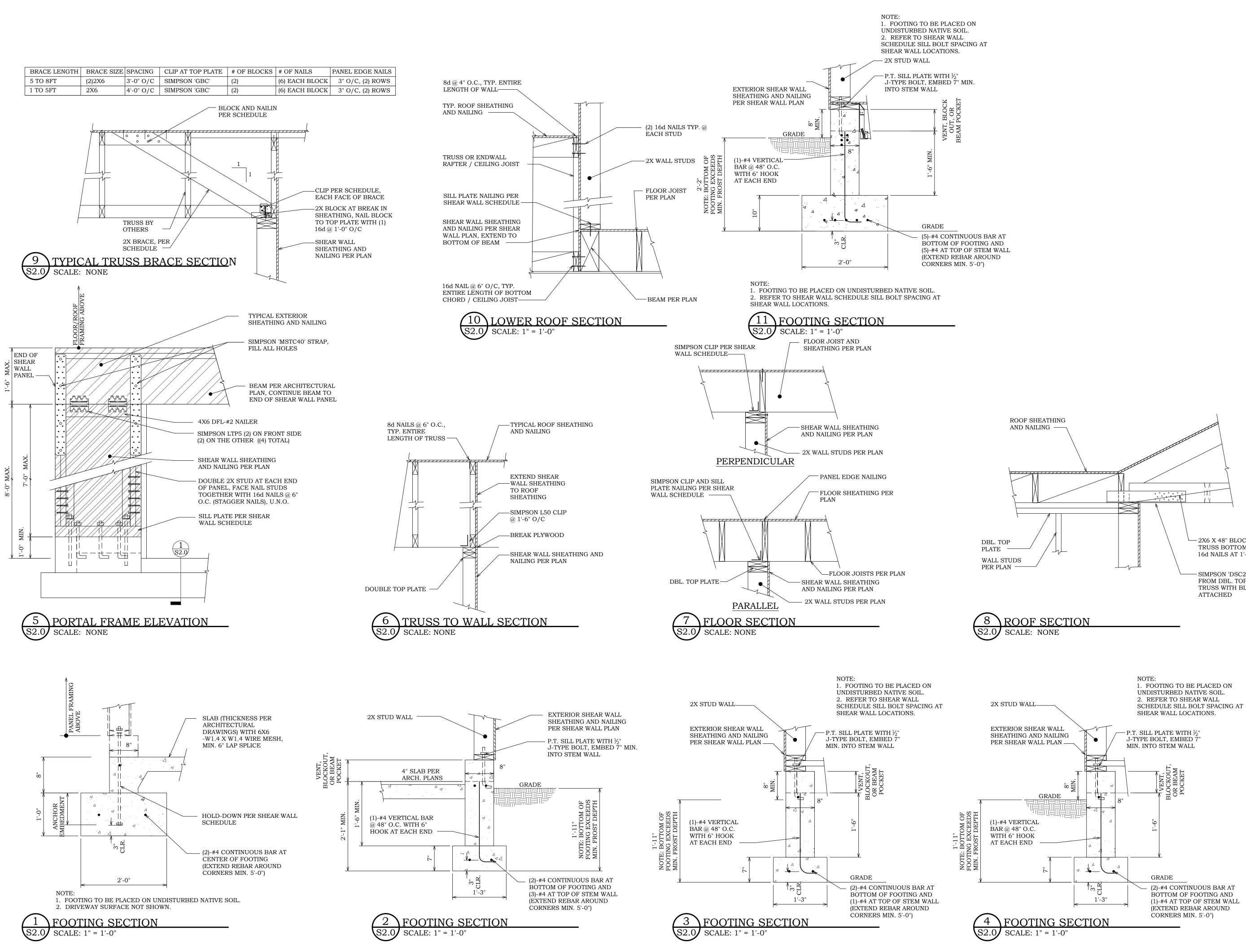
PER ARCH. PLANS

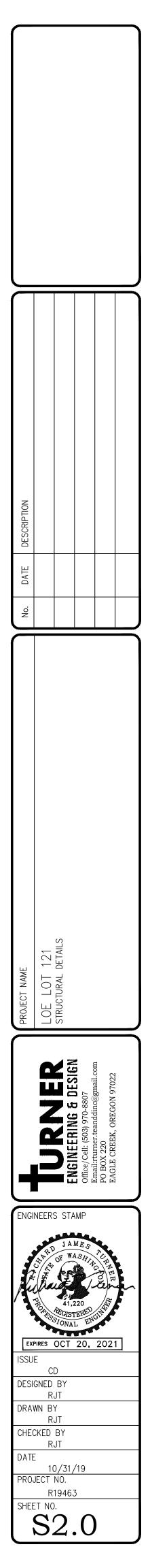
16d NAILS @ 4" O/C

MAIN FLOOR SHEARWALL PLAN 1. REFER TO FRAMING REQUIREMENTS FOR TYPICAL EXTERIOR SHEATHING AND NAILING, ROOF SHEATHING AND NAILING AND FLOOR SHEATHING AND NAILING REQUIREMENTS.

PARTIAL FOUNDATION PLAN







2X6 X 48" BLOCK, FACE NAIL TO TRUSS BOTTOM CHORD WITH (2) 16d NAILS AT 1'-0" O/C

- SIMPSON 'DSC2R/L-SDS3' FROM DBL. TOP PLATE TO TRUSS WITH BLOCKING