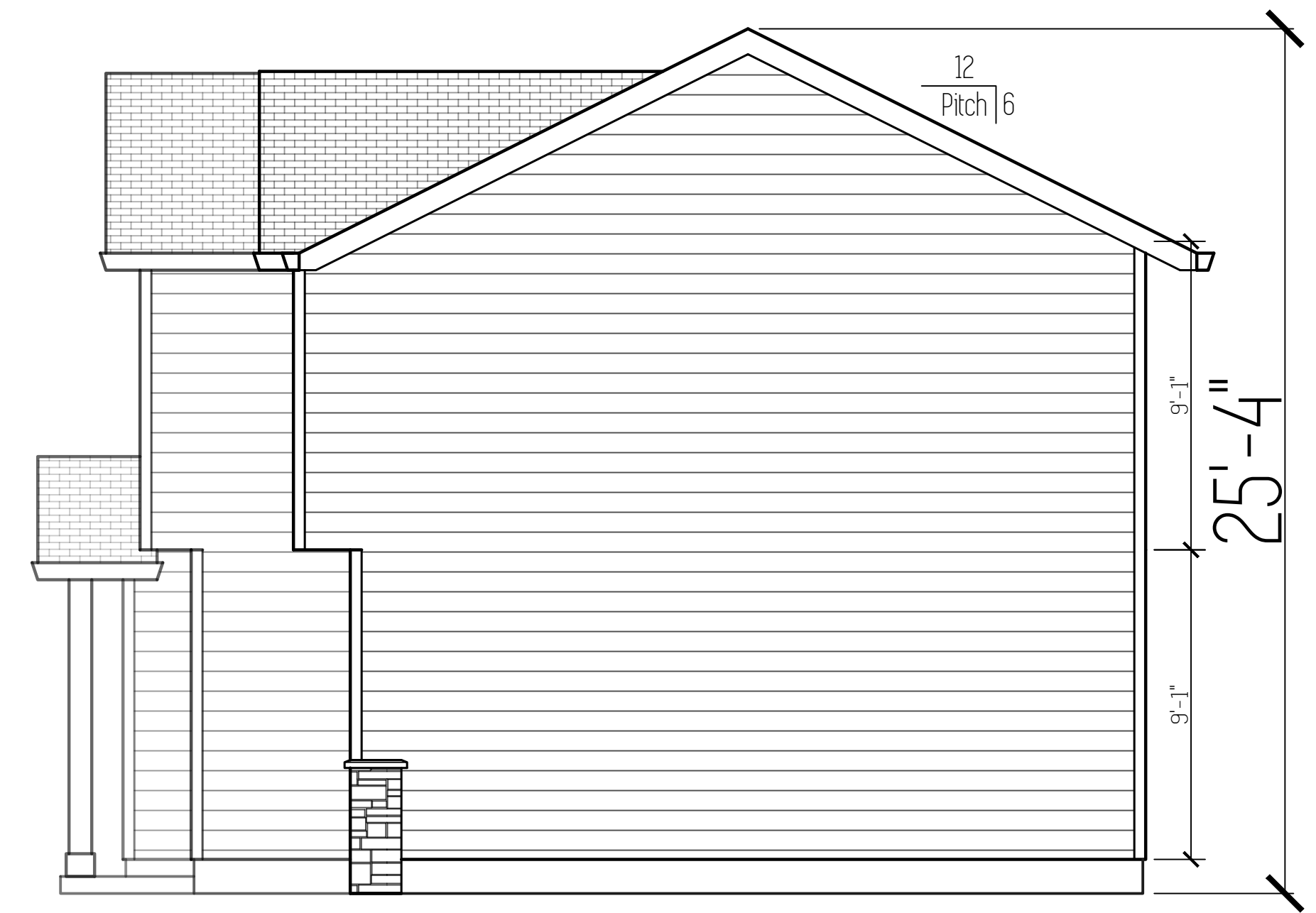
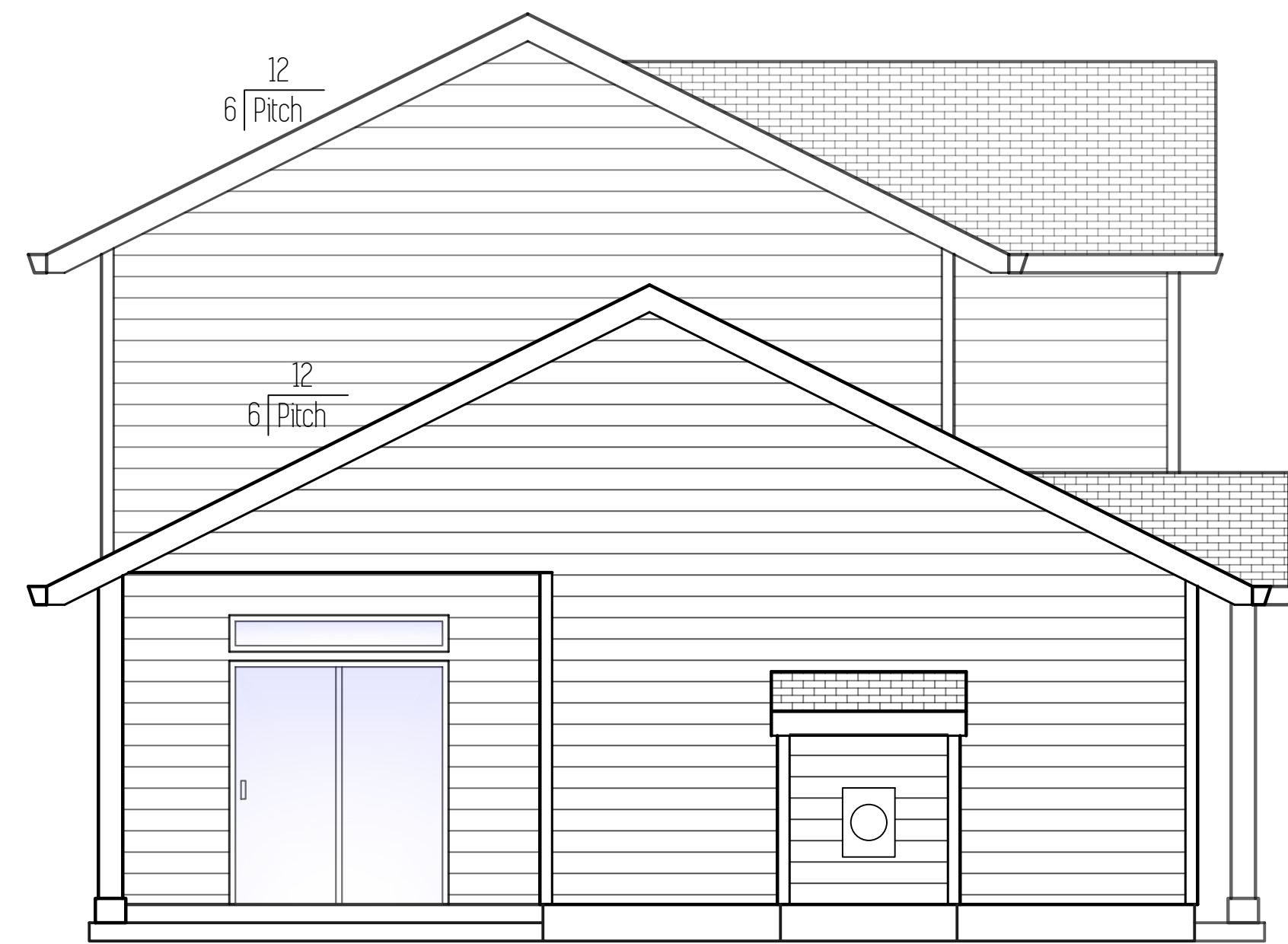




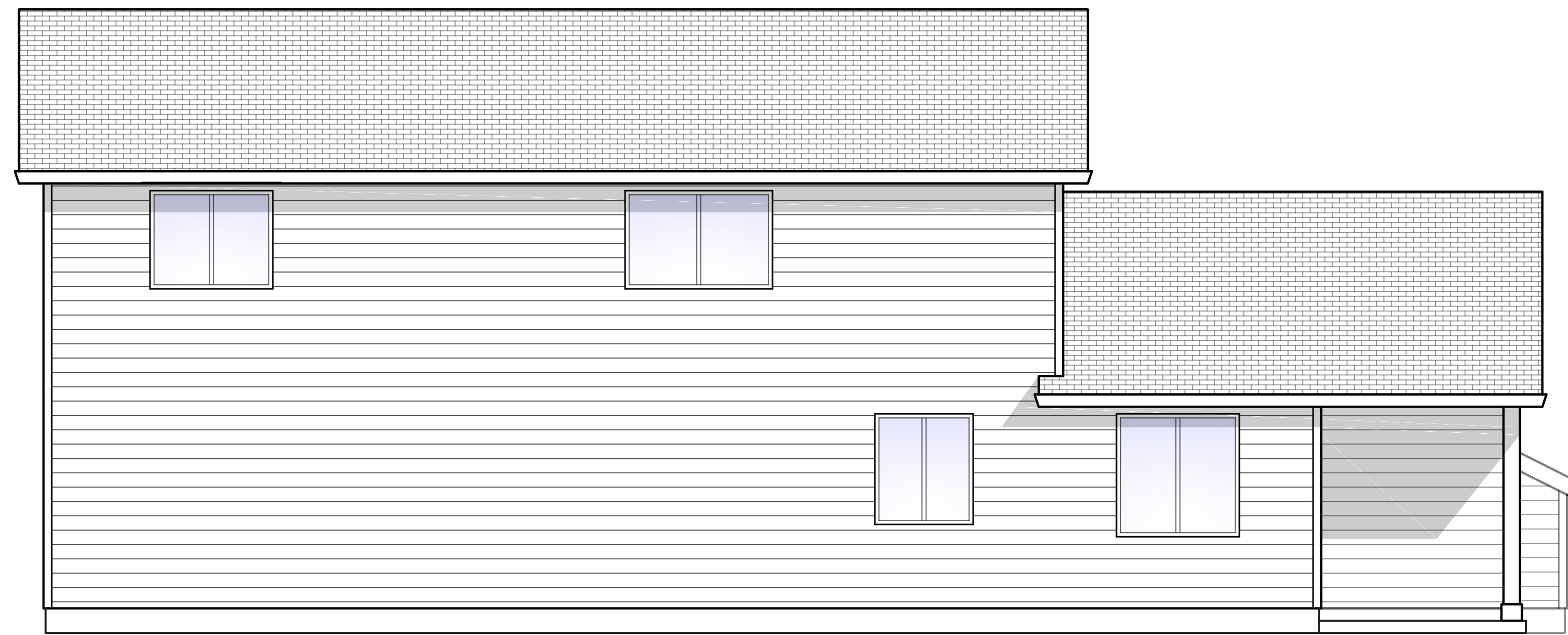
Front Elevation



Left Elevation



Right Elevation



Back Elevation

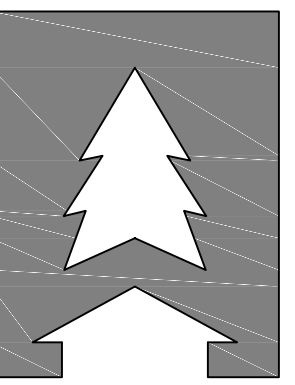
Plan Name	Skamania
Date	12/3/2019
Location	Lone Oak Estates Lot 121 Battle Ground, WA

Total Sq Ft = 2,069

Elevations

Scale: 1/4" = 1'

This plan is property of:



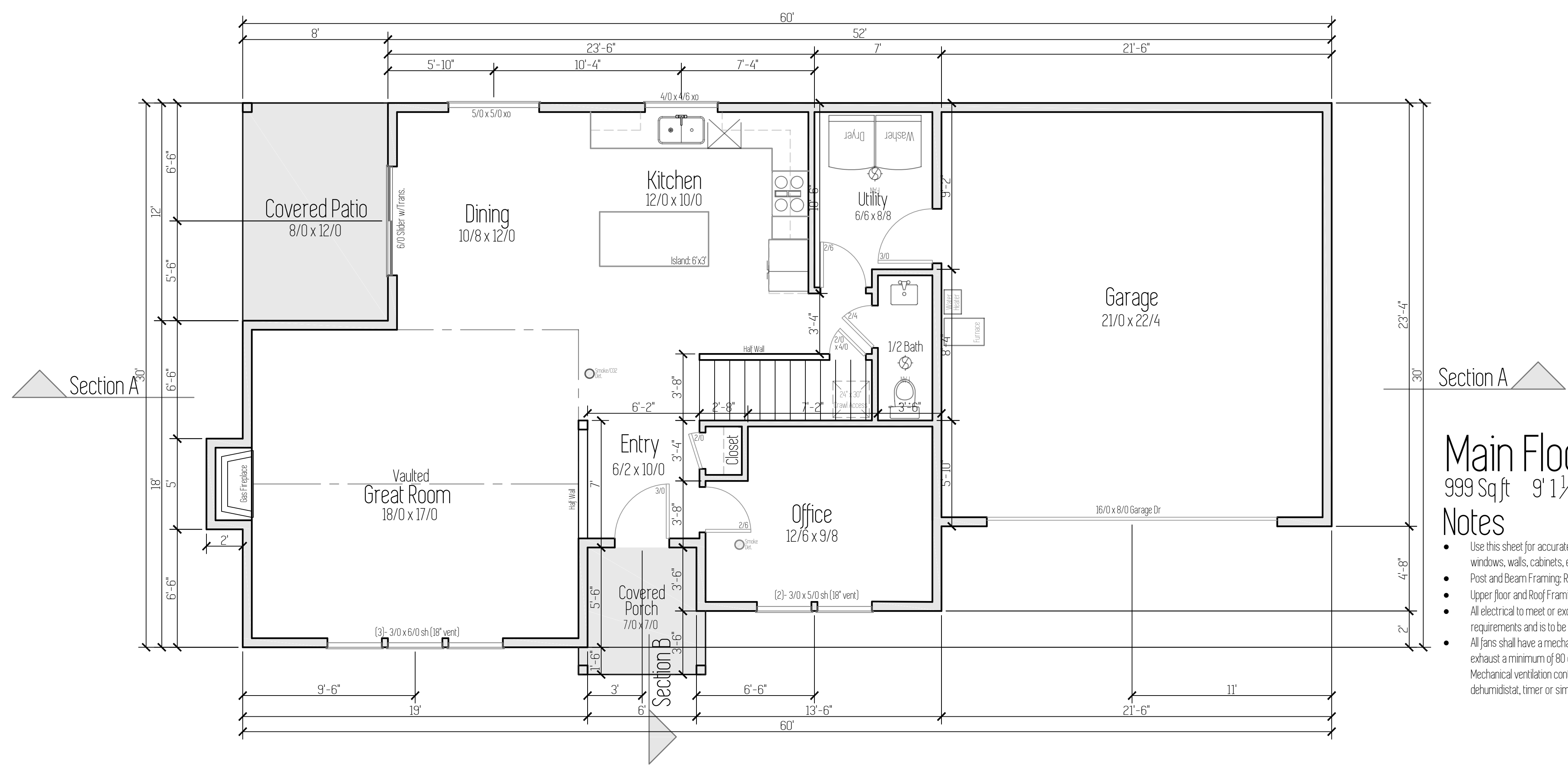
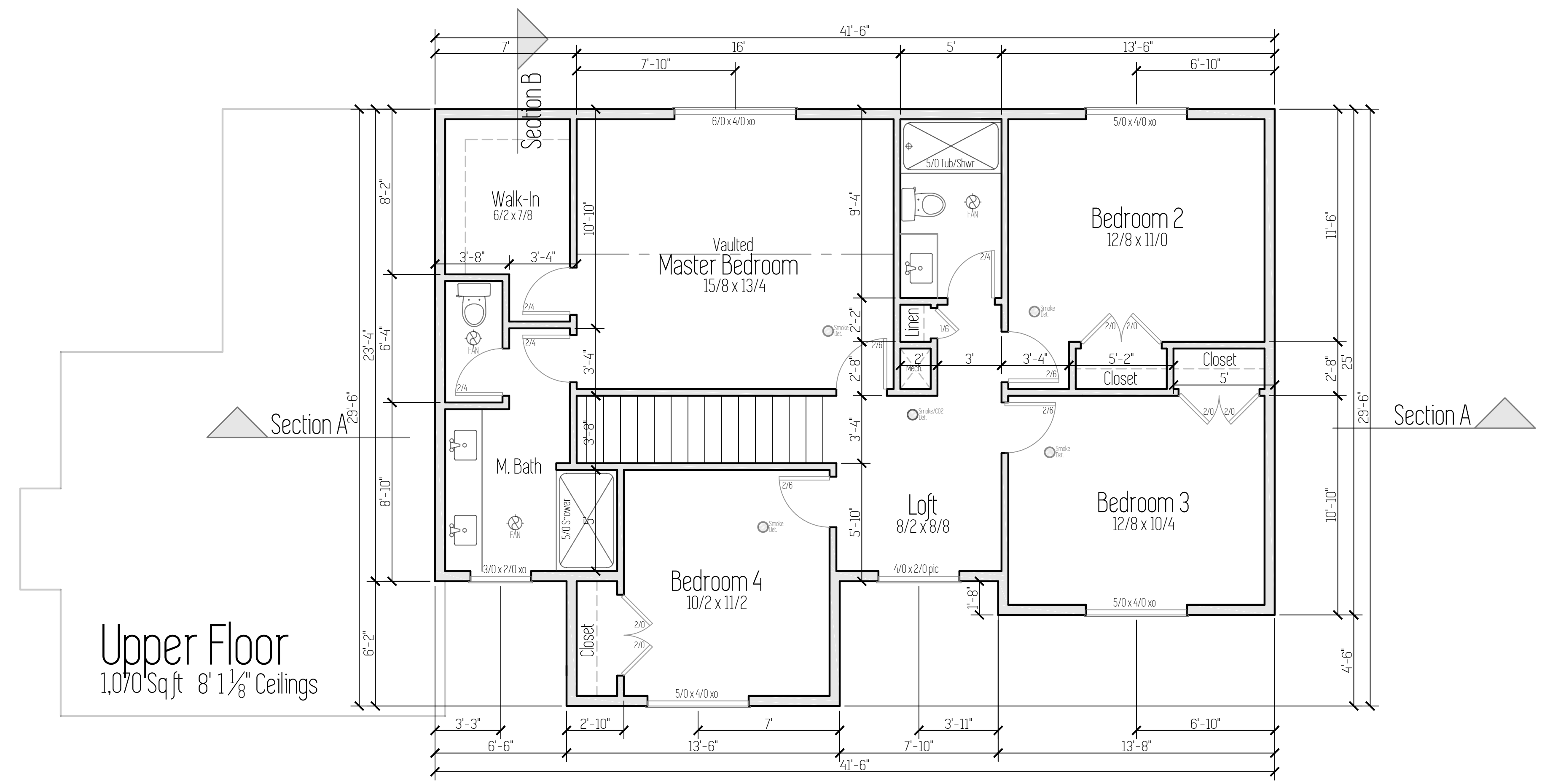
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Designed by:

TYSON GREY
tyson@cedarridgehomes.us



Notes

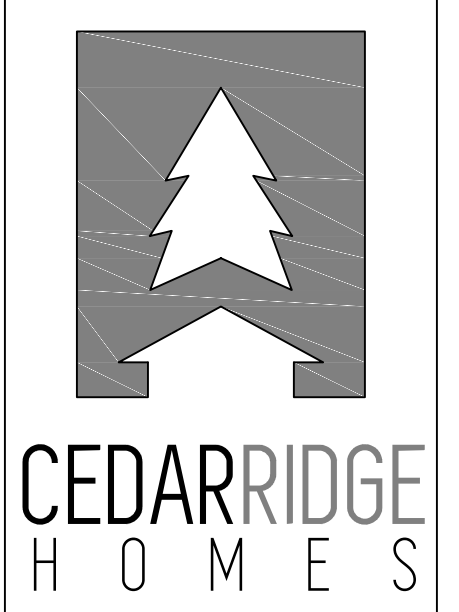
- Use this sheet for accurate dimensions and locations of all doors, windows, walls, cabinets, etc.
- Post and Beam Framing: Refer to Foundation Plan (sheet 3)
- Upper floor and Roof Framing: Refer to Framing Plan (sheet 4)
- All electrical to meet or exceed current minimum code requirements and is to be determined by owner.
- All fans shall have a mechanical ventilation system designed to exhaust a minimum of 80 cfm intermittent or 20 cfm continuous. Mechanical ventilation control systems shall be connected to a dehumidistat, timer or similar automatic control

Plan Name	Skamania
Date	12/3/2019
Location	Lone Oak Estates Lot 121 Battle Ground, WA

Floor Plan

Total Sq Ft = 2,069
Scale: 1/4" = 1'

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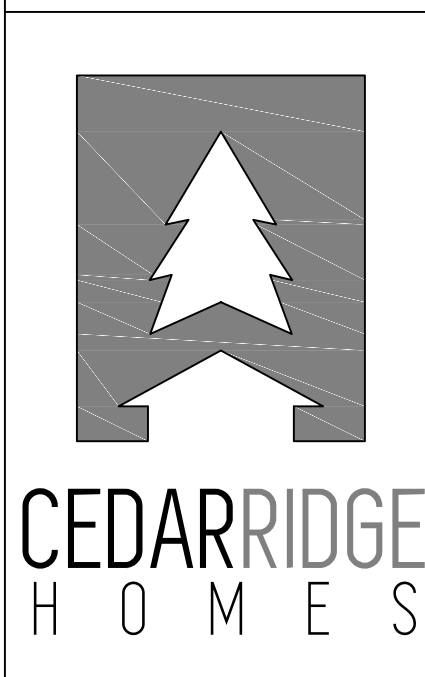
Plan Name	Skamania
Date	12/3/2019
Location	Lone Oak Estates Lot 121 Battle Ground, WA

Total Sq Ft = 2,069

Foundation Plan

Scale: 1/4" = 1'

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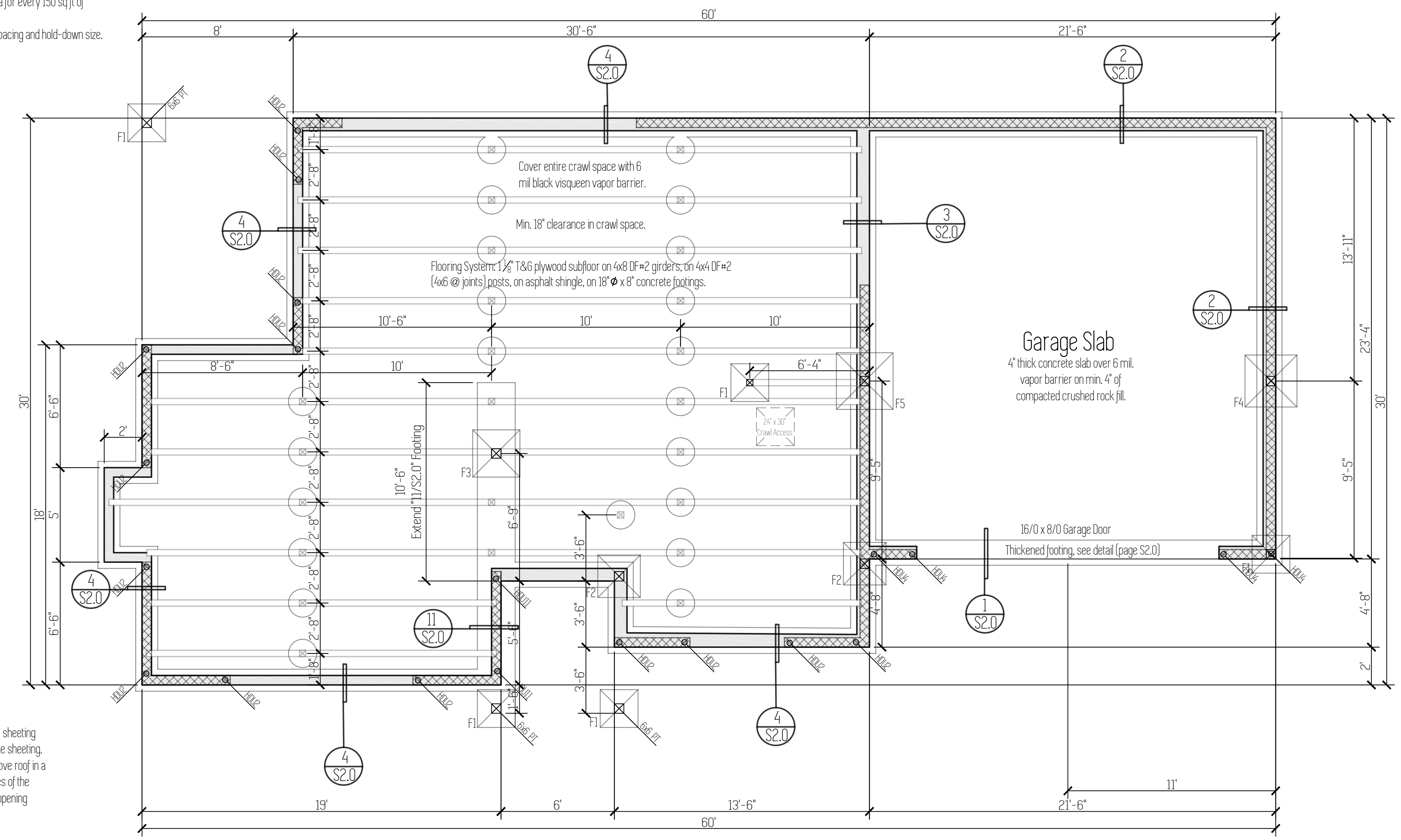
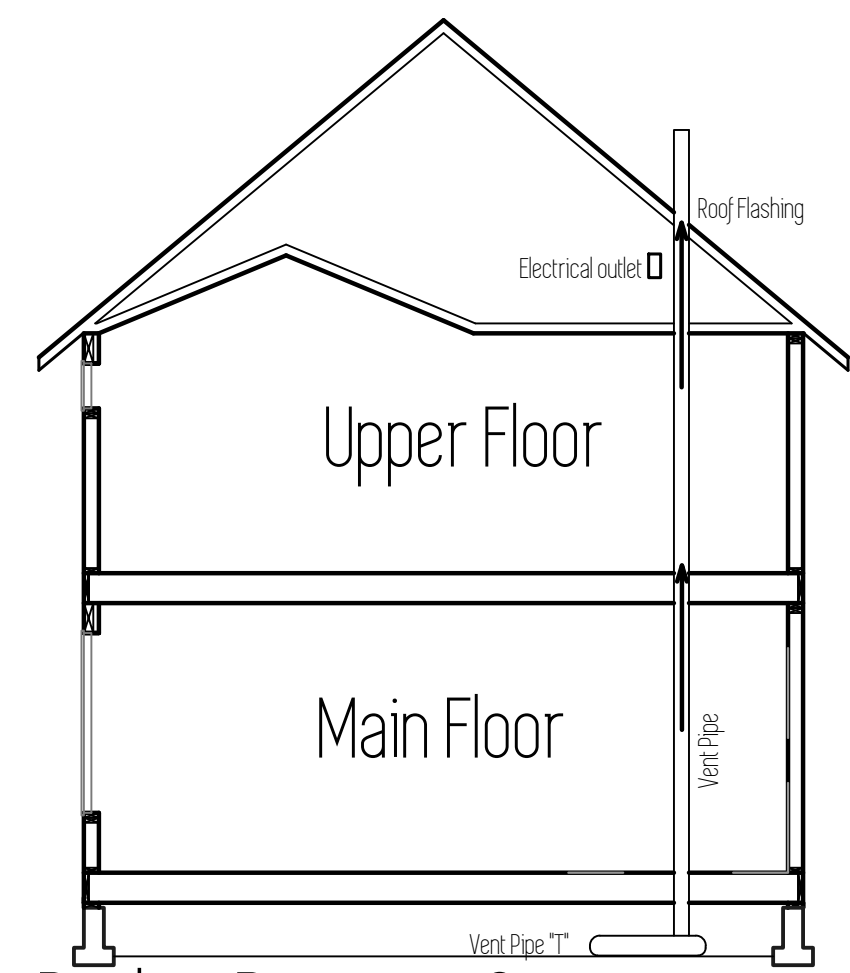
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Foundation Notes

- Concrete: Minimum 28 day concrete strength = 2500 psi.
- Grade beams, piers and spread footings shall be poured onto undisturbed, native soil which is free from any material that will adversely affect the soil bearing pressure.
- Footings are to be on undisturbed soil with an assumed 1500 PSF
- All slabs to be supported with a min. of 4" of compacted crushed rock fill.
- Beam pockets in concrete walls to have a min. 1/2" air space on sides, and min. 3" of bearing for all beams and girders.
- Typical pier pad to be 18" dia. x 8" concrete footing with 4x4 DF#2 post.
- Typical crawl space beam to be 4x8 DF#2. Single gusset plate to be used on both sides of attachment to post.
- Cover entire crawl space with 6 mil black visqueen vapor barrier.
- Excavate a min. of 18" below bottom of all beams.
- Install 15" x 7" closable FND vents in FND walls. Min 1 sq ft vented area for every 150 sq ft of crawl space.
- Refer to Shear Wall Schedule and Hold-Down Schedule for sill bolt spacing and hold-down size. (PAGE S1.0)

- Shear Wall Panel
- Interior Bearing Wall (above)
- HoldDown

Footing Schedule	
F1	24" x 24" x 8" Concrete footing with (2) #4 bars each way.
F2	27" x 27" x 8" Concrete footing with (2) #4 bars each way.
F3	30" x 30" x 8" Concrete footing with (3) #4 bars each way.
F4	33" x 33" x 10" Concrete footing with (3) #4 bars each way.
F5	36" x 36" x 8" Concrete footing with (3) #4 bars each way.



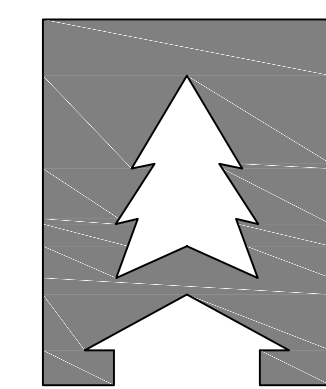
Plan Name	Skamania
Date	12/3/2019
Location	Lone Oak Estates Lot 121 Battle Ground, WA

Total Sq Ft = 2,069

Framing Plan

Scale: 1/4" = 1'

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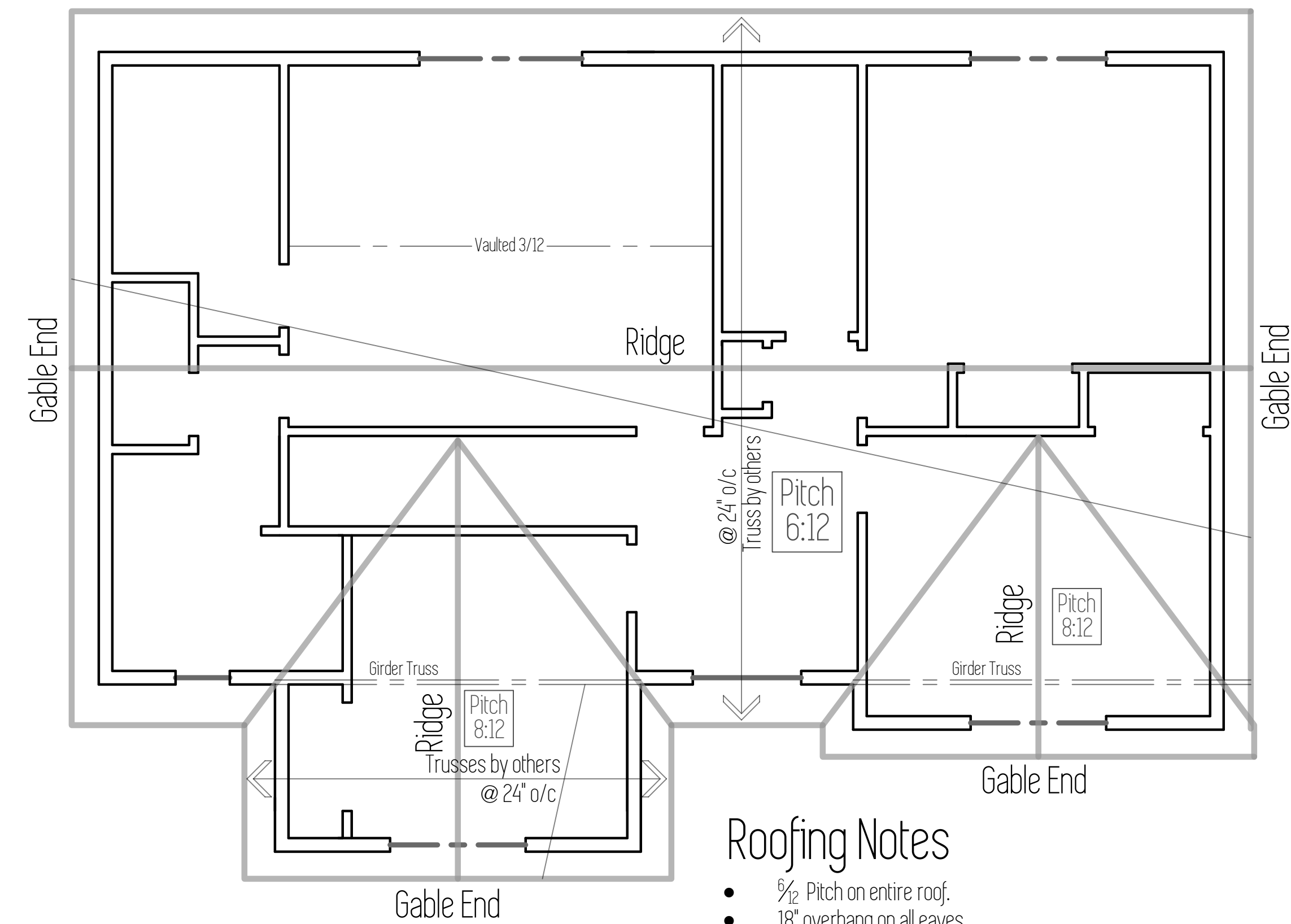
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4

Roof Framing Plan

1. Refer to sheet S1.0 for details on Shear Panels and Strapping.
2. Exterior Headers to be 4x8 DF#2 (max. span 6') U.N.O.
3. Interior Headers to be 4x8 DF#2 (max. span 4') U.N.O.
4. Typical exterior wall post to be (2)-2x6 DF#2 (bundled stud), fasten each stud together w/16d nails @ 12" o/c, typ. entire length of stud, u.n.o. Typical interior wall post to be (2)-2x4 DF#2 (bundled stud), fasten each stud together w/16d nails @ 12" o/c, typ. entire length of stud, u.n.o.
5. Exterior post caps to be Simpson "PC" or "EPC", if exposed condition coat per manufacture's specs with exterior exposed and P.T. material.



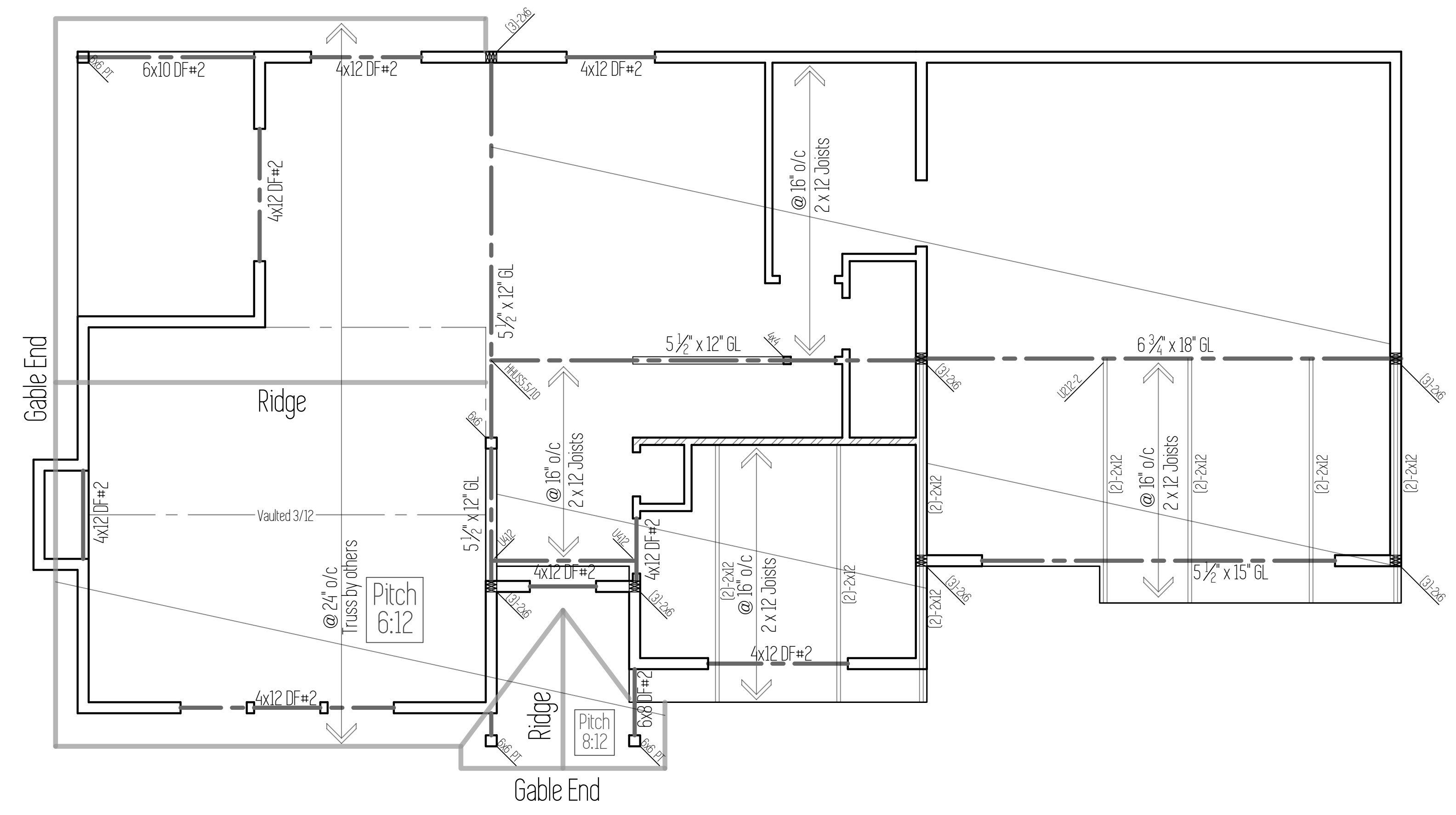
Roofing Notes

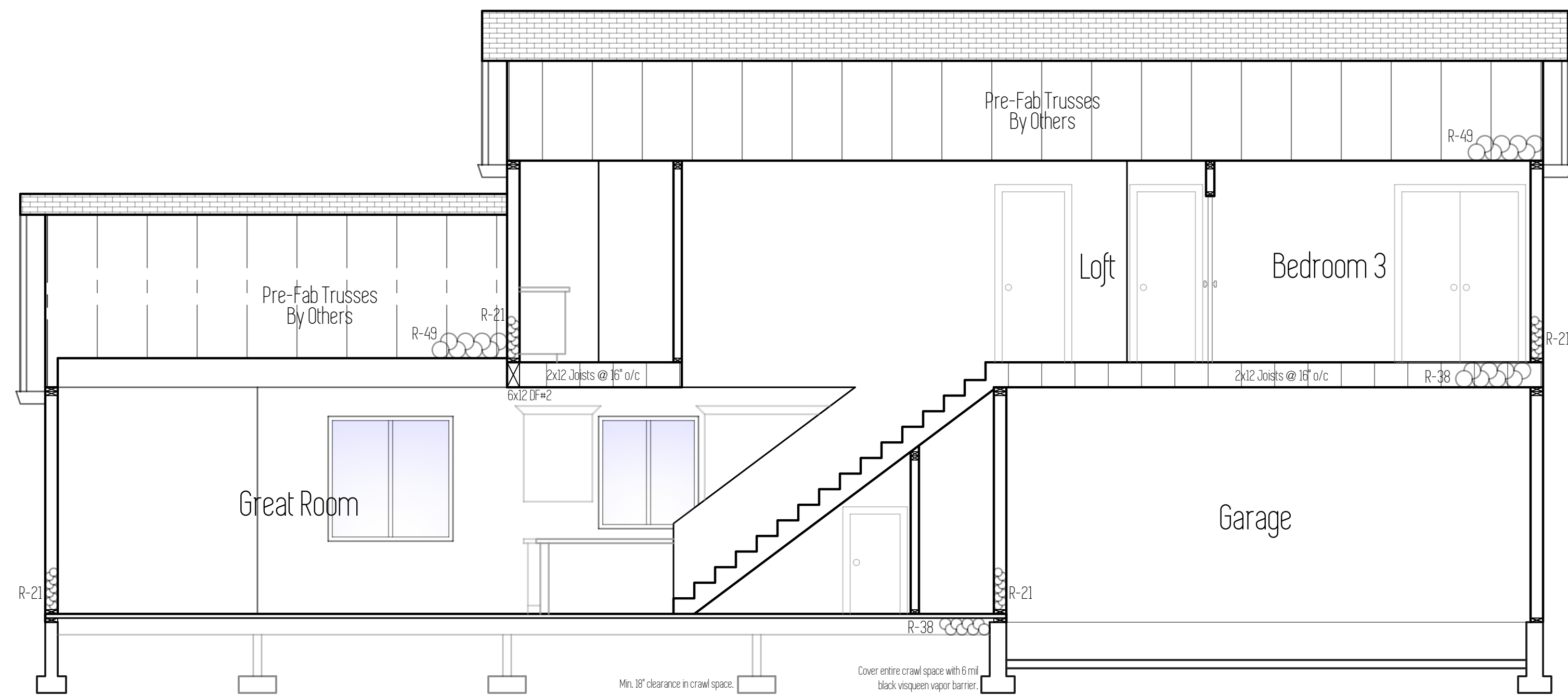
- 5/2 Pitch on entire roof.
- 18" overhang on all eaves.
- 12" overhang on all gable ends.
- Install roof vents along ridge @ 4' o.c.

Upper Floor & Lower Roof Framing Plan

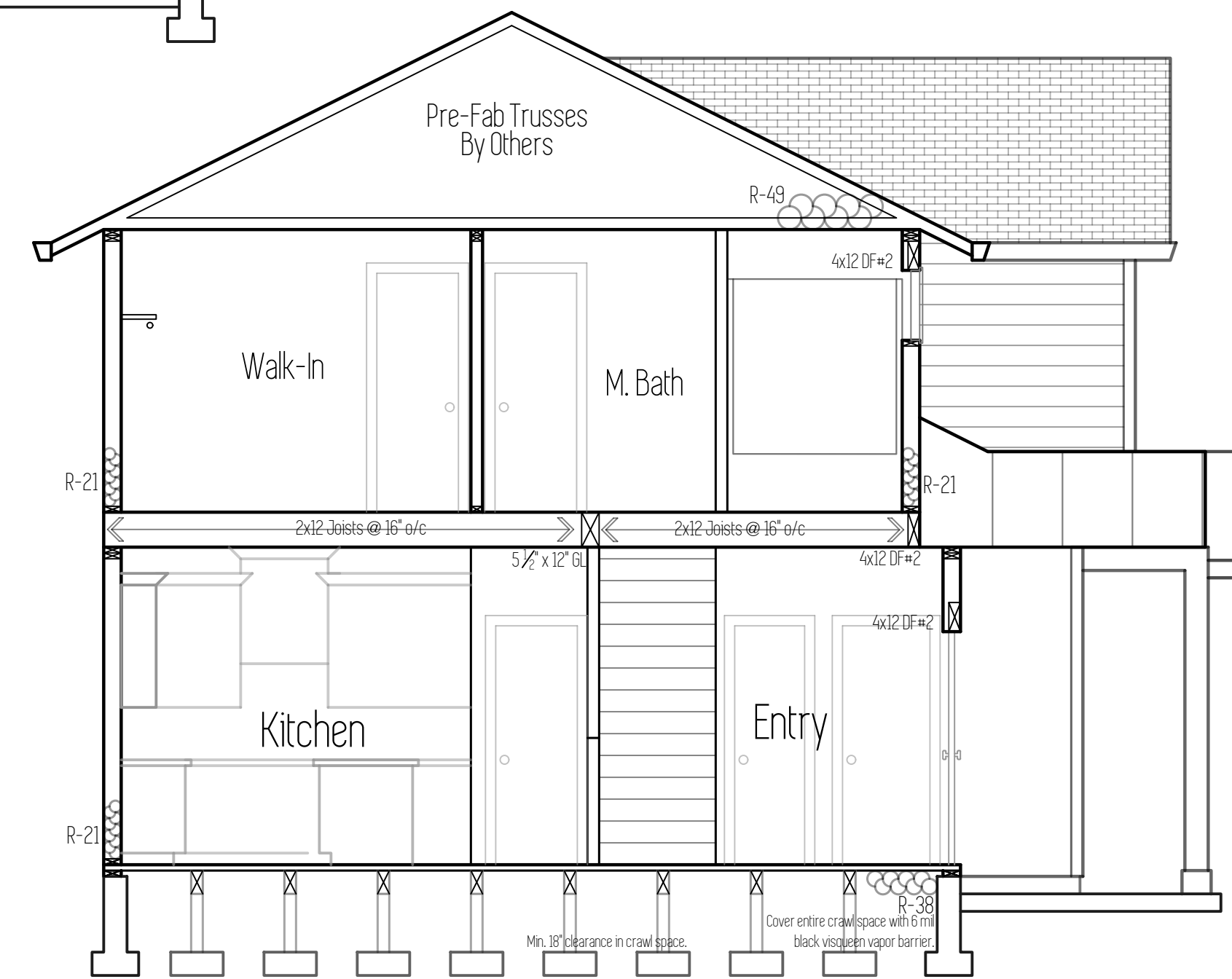
1. Refer to sheet S1.0 for details on Shear Panels and Strapping.
2. Exterior Headers to be 4x12 DF#2 (max. span 4') U.N.O.
3. Interior Headers to be 4x8 DF#2 (max. span 4') U.N.O.
4. Typical exterior wall post to be (2)-2x6 DF#2 (bundled stud), fasten each stud together w/16d nails @ 12" o/c, typ. entire length of stud, u.n.o. Typical interior wall post to be (2)-2x4 DF#2 (bundled stud), fasten each stud together w/16d nails @ 12" o/c, typ. entire length of stud, u.n.o.
5. Exterior post caps to be Simpson "PC" or "EPC", if exposed condition coat per manufacture's specs with exterior exposed and P.T. material.

Interior Bearing Wall





Section A



Section B

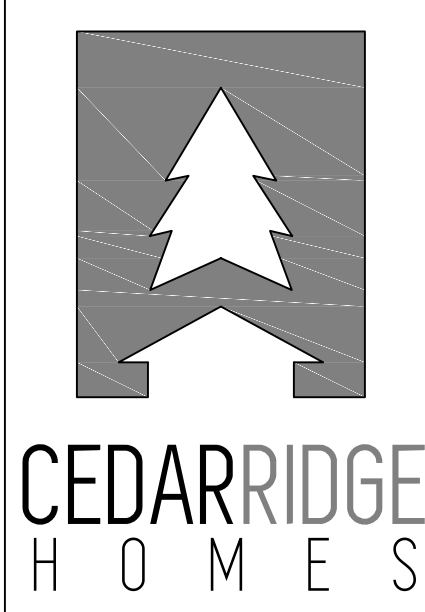
Plan Name	Skamania
Date	12/3/2019
Location	Lone Oak Estates Lot 121 Battle Ground, WA

Total Sq Ft = 2,069

Sections

Scale : 1/4" = 1'

This plan is property of:

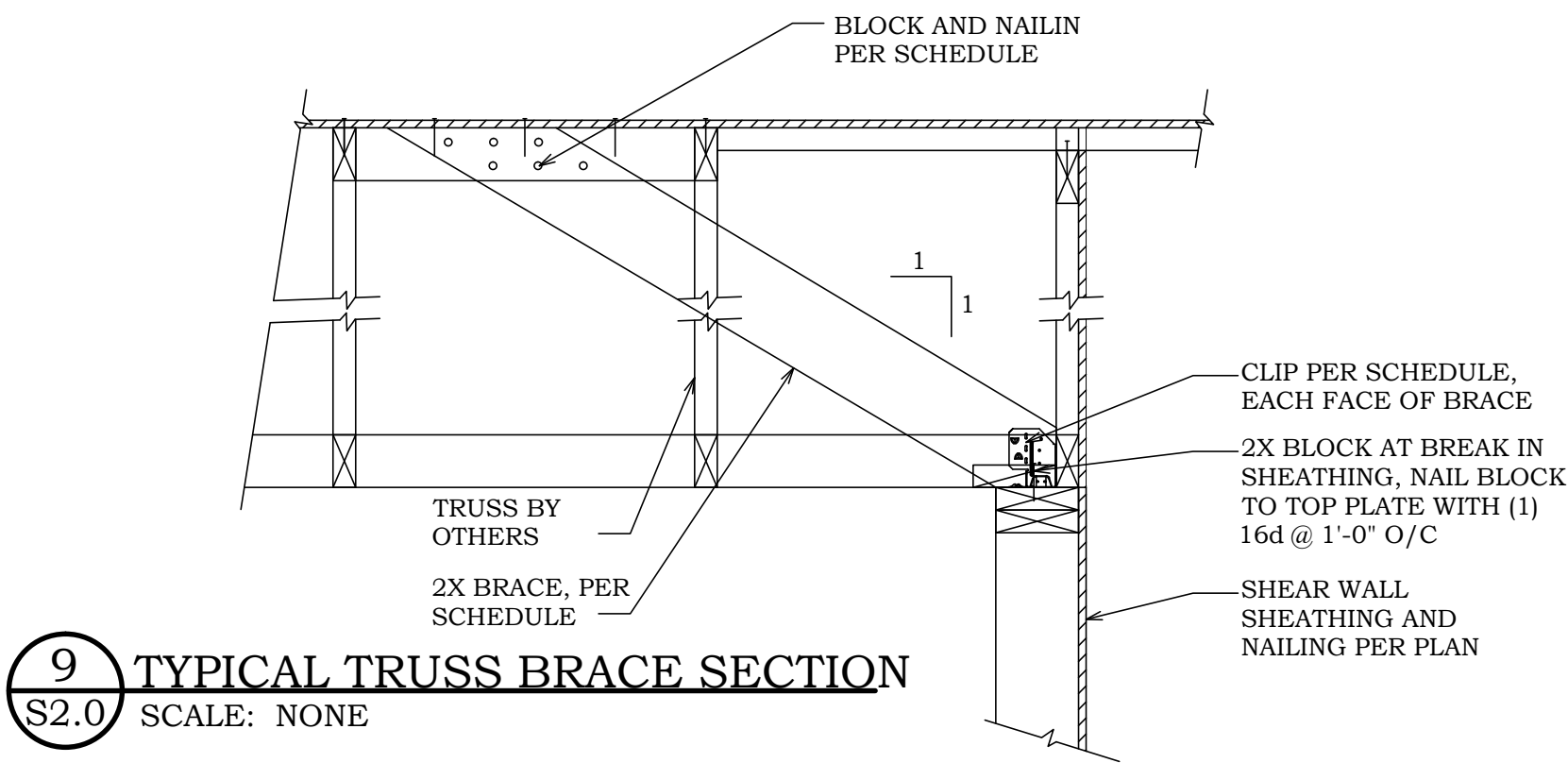


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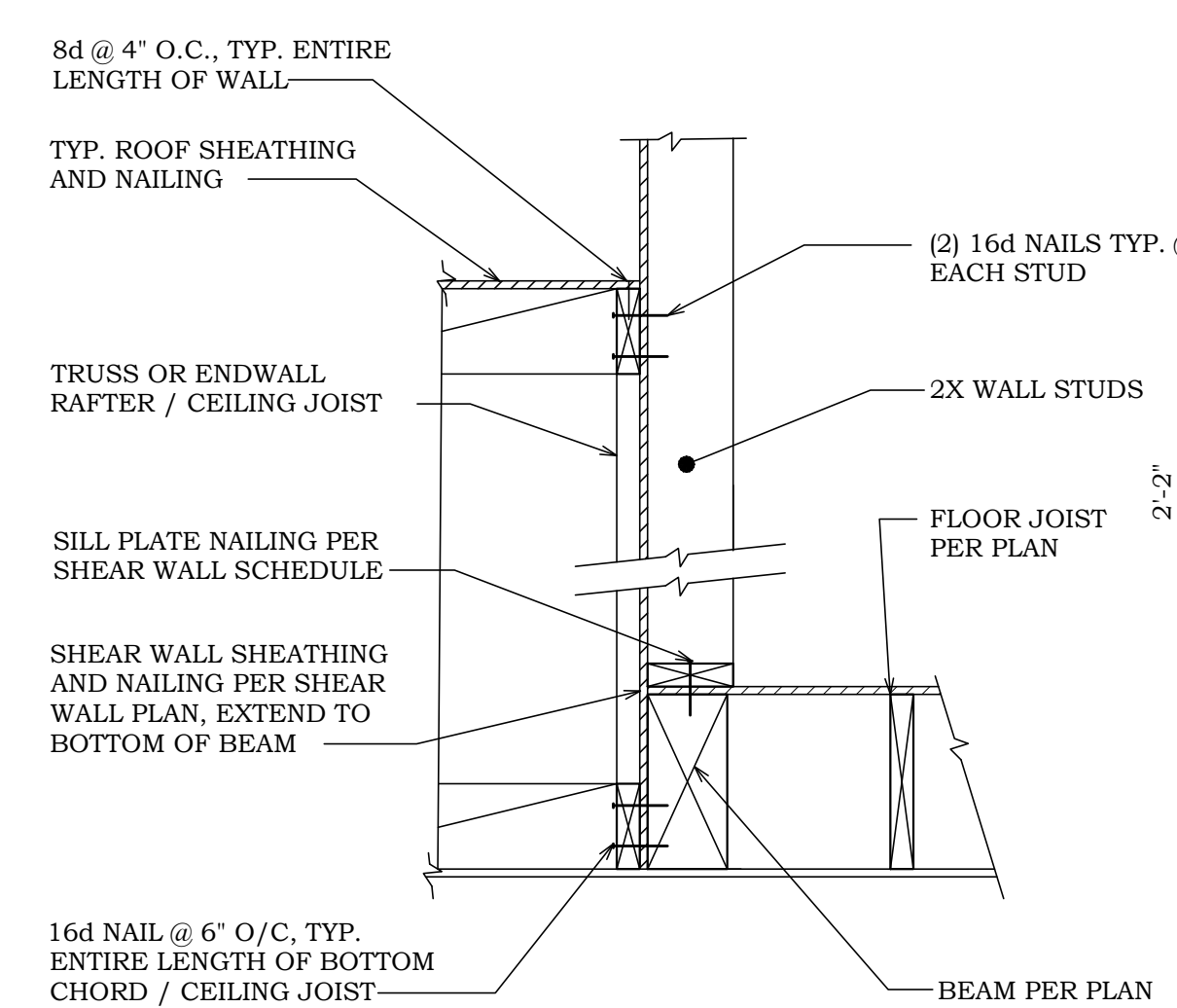
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5

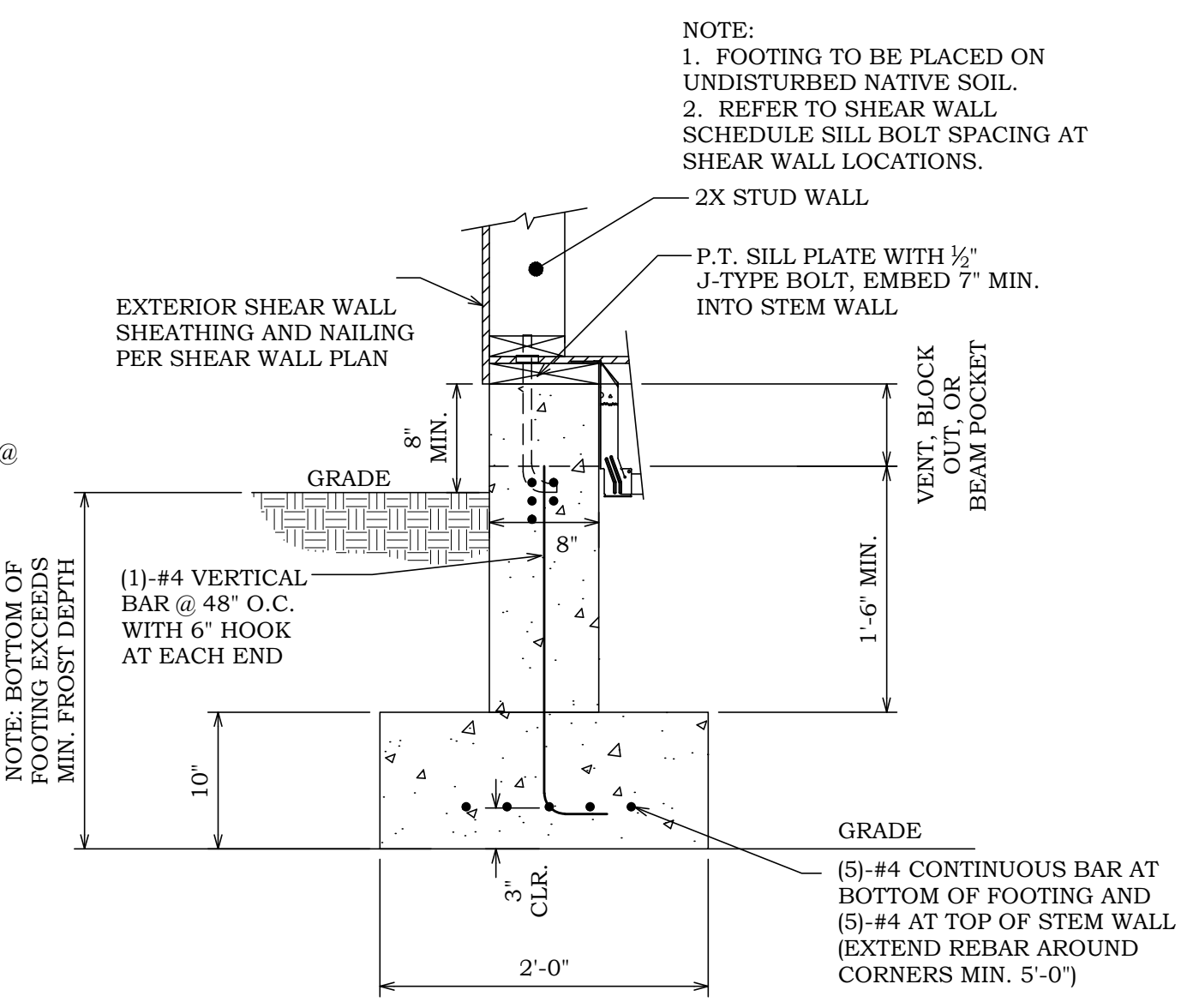
BRACE LENGTH	BRACE SIZE	SPACING	CLIP AT TOP PLATE	# OF BLOCKS	# OF NAILS	PANEL EDGE NAILS
5 TO 8FT	(2)2X6	3'-0" O/C	SIMPSON 'GBC'	(2)	(6) EACH BLOCK	3" O/C, (2) ROWS
1 TO 5FT	2X6	4'-0" O/C	SIMPSON 'GBC'	(2)	(6) EACH BLOCK	3" O/C, (2) ROWS



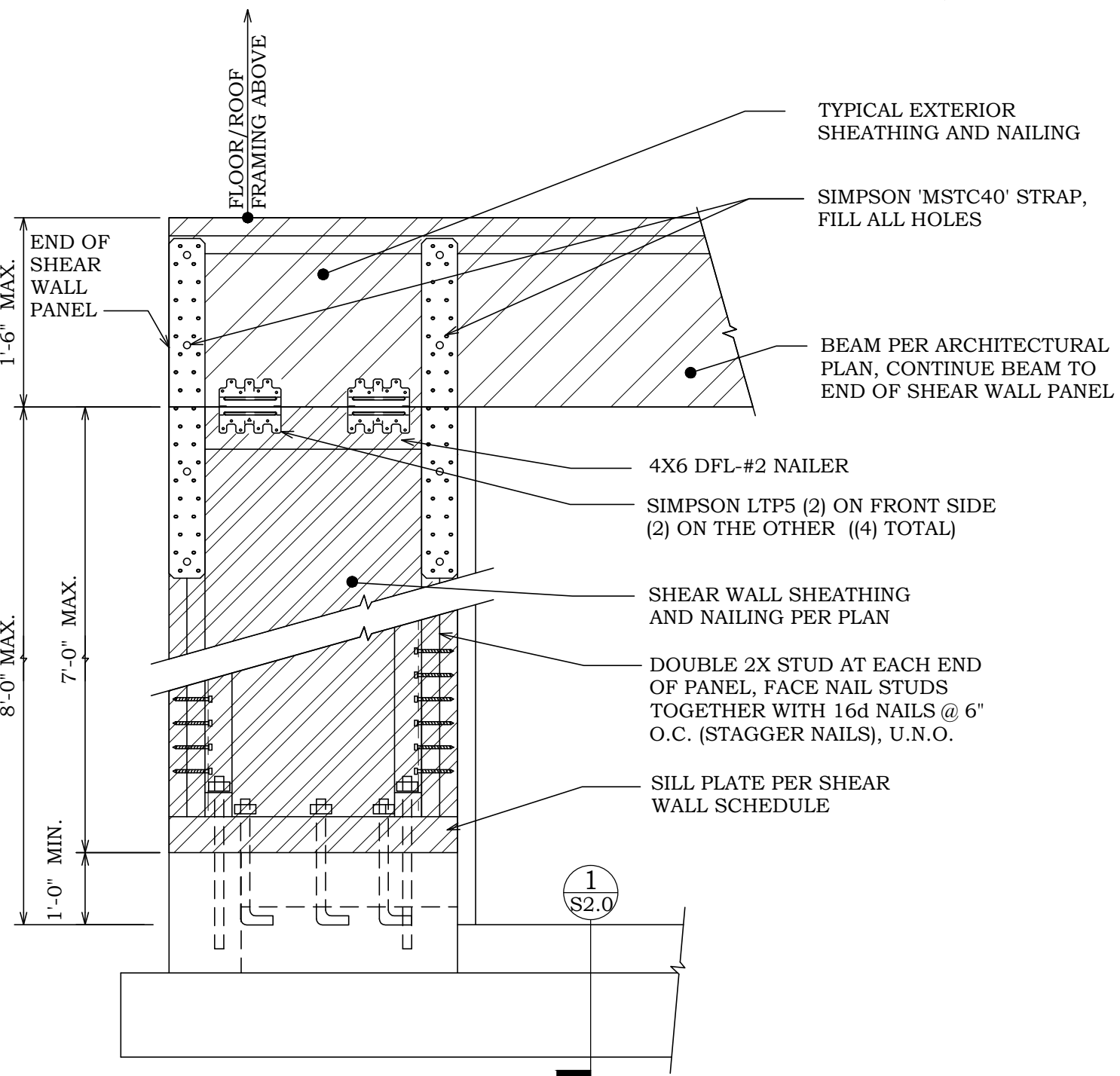
9 TYPICAL TRUSS BRACE SECTION
S2.0 SCALE: NONE



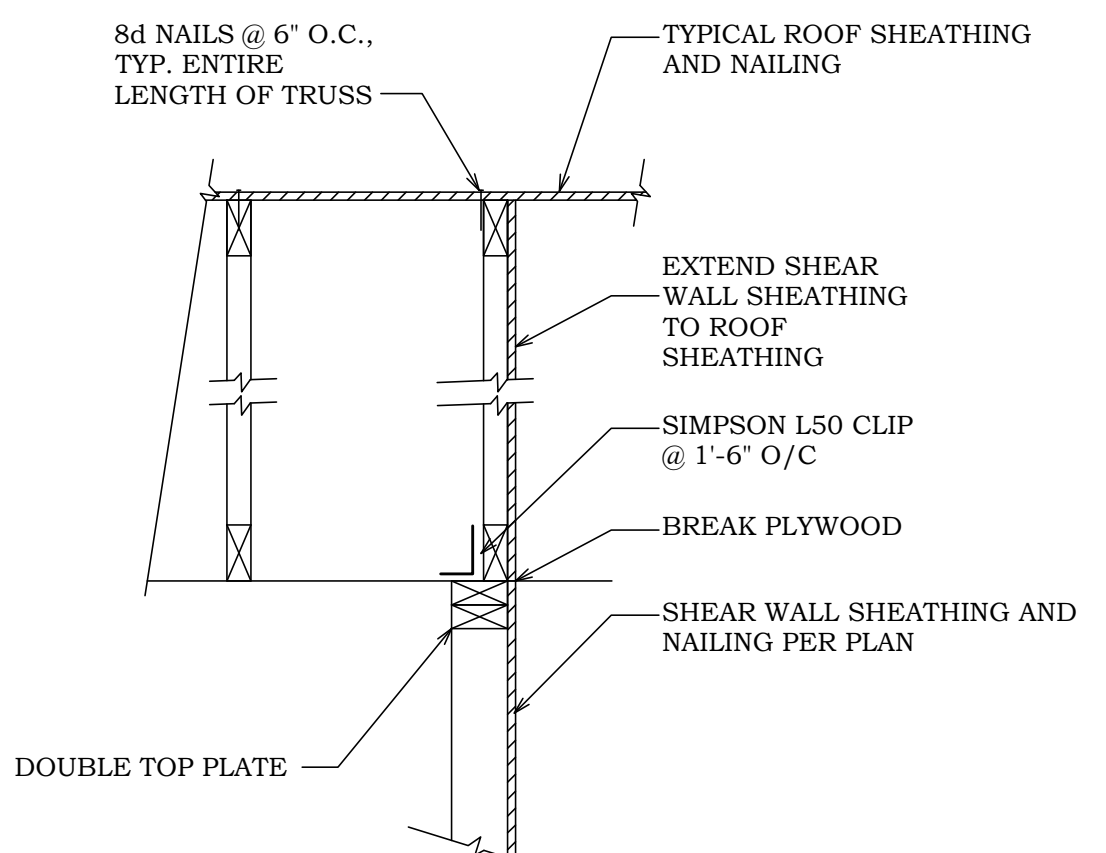
10 LOWER ROOF SECTION
S2.0 SCALE: 1" = 1'-0"



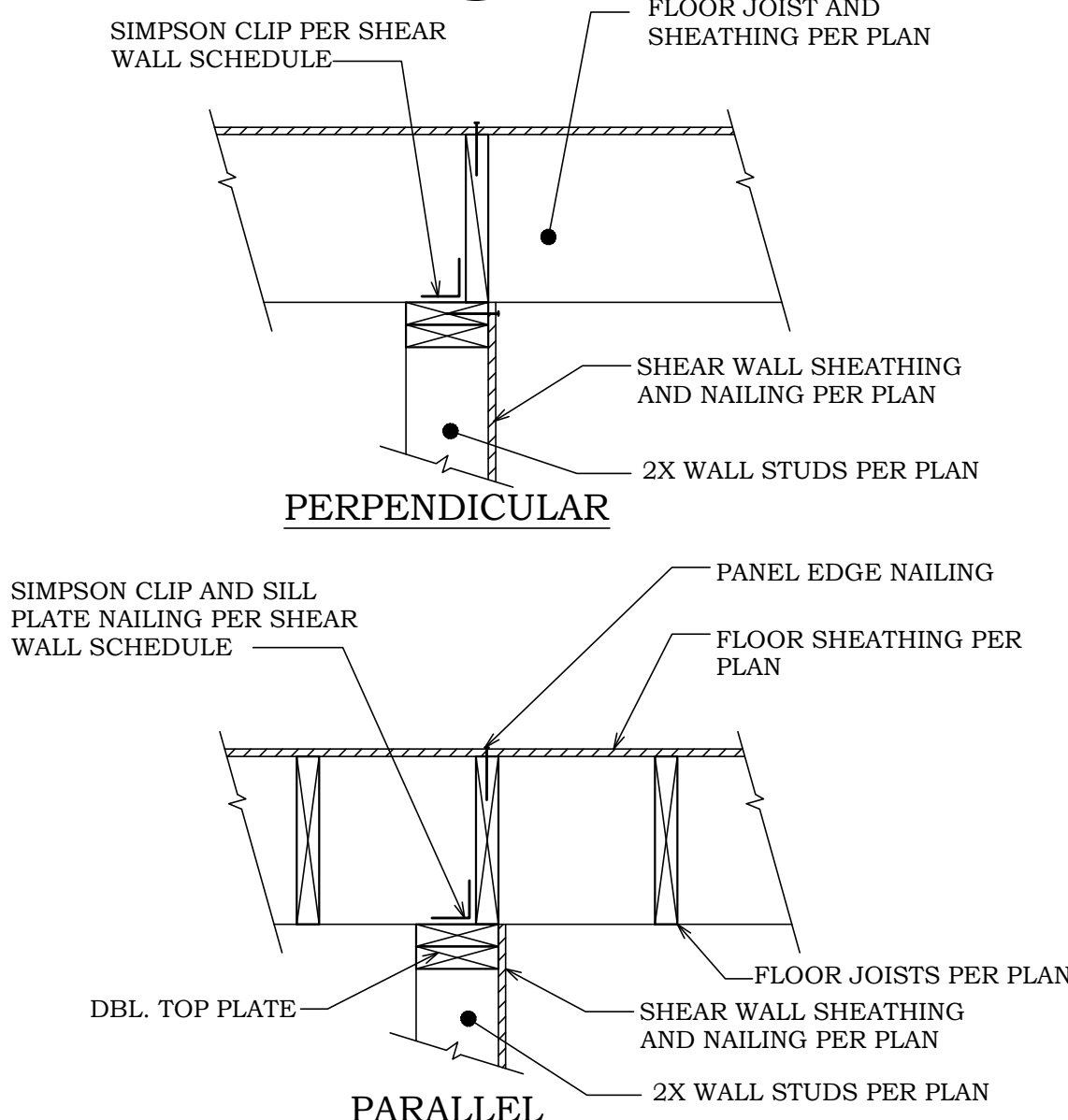
11 FOOTING SECTION
S2.0 SCALE: 1" = 1'-0"



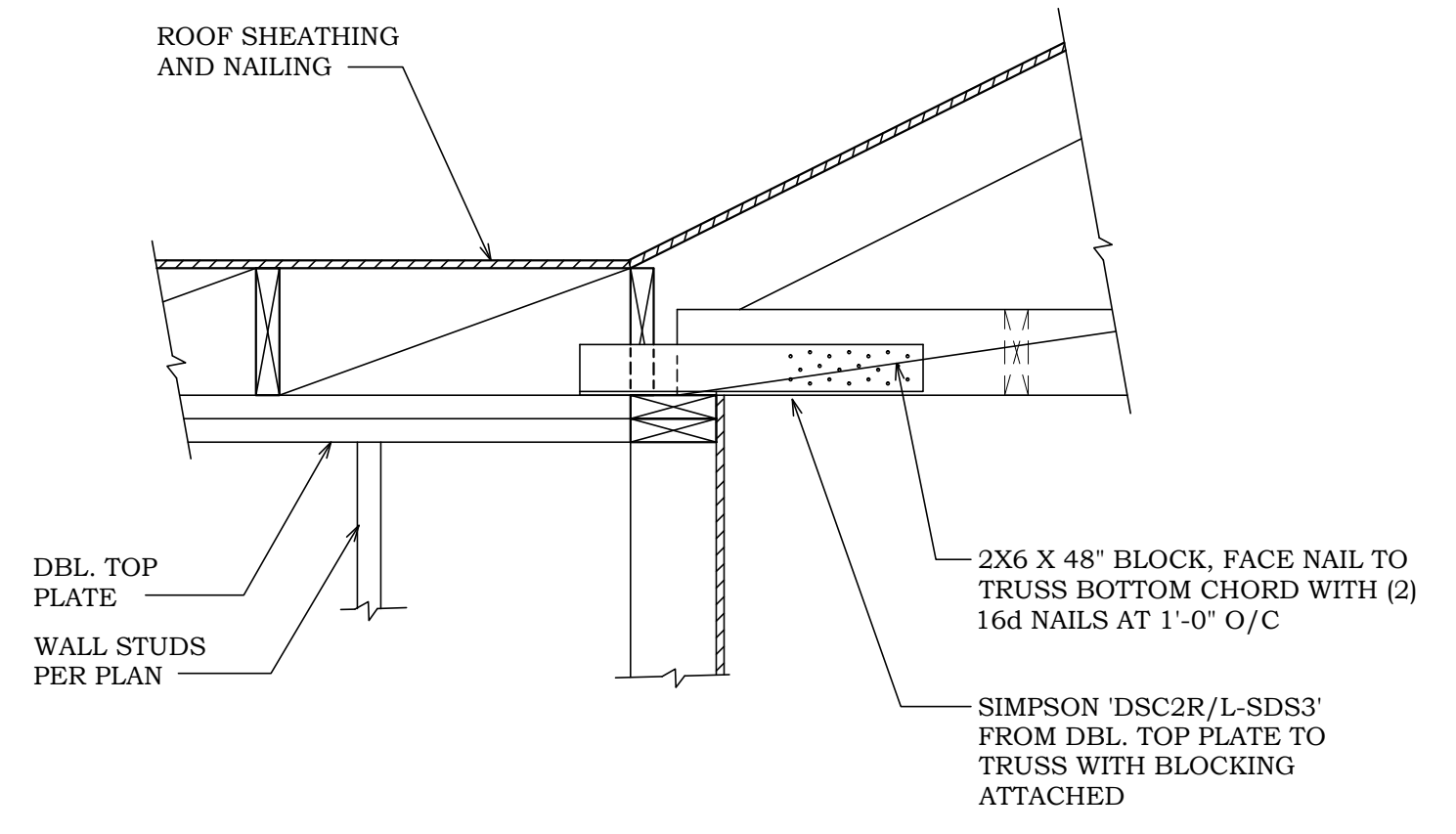
5 PORTAL FRAME ELEVATION
S2.0 SCALE: NONE



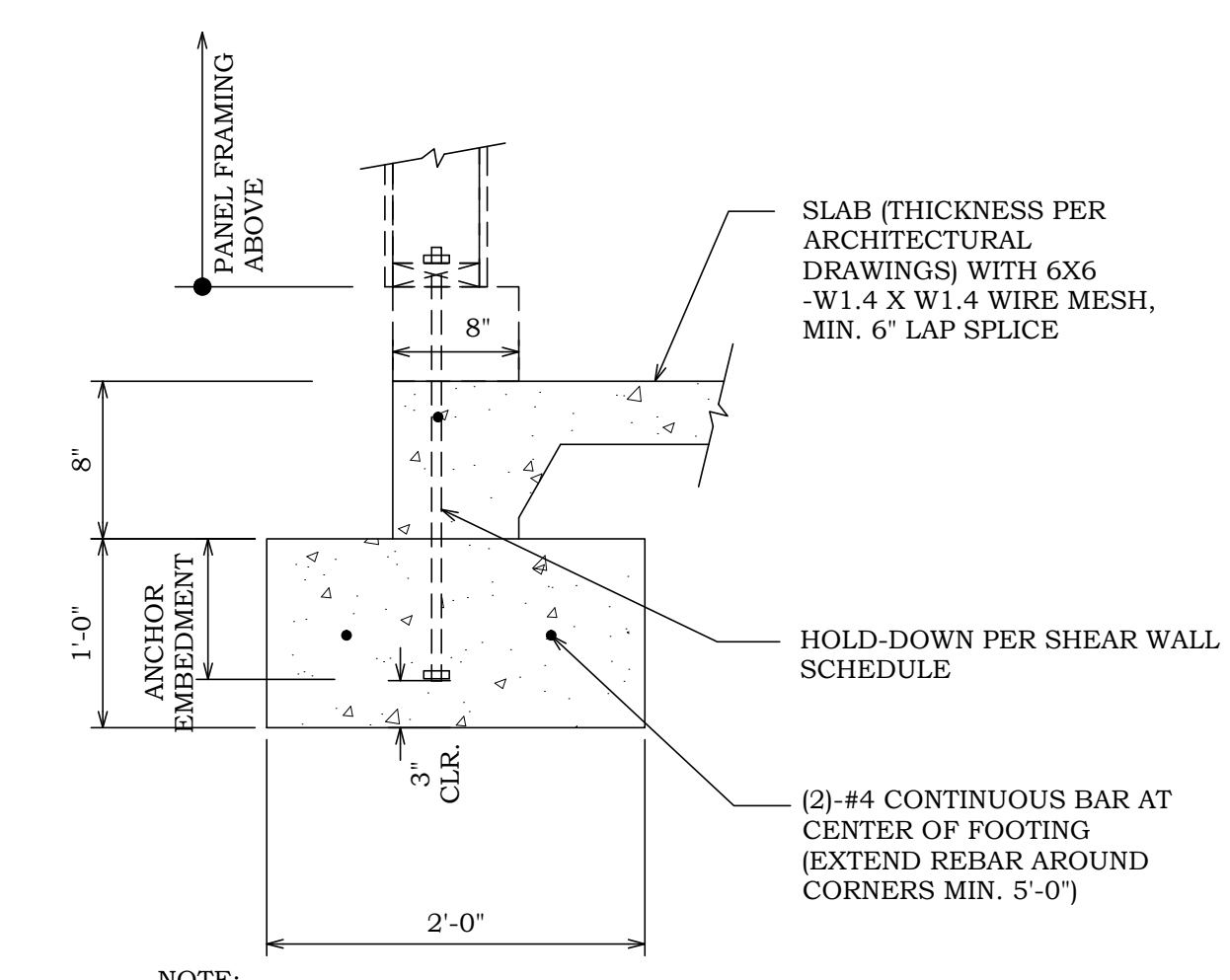
6 TRUSS TO WALL SECTION
S2.0 SCALE: NONE



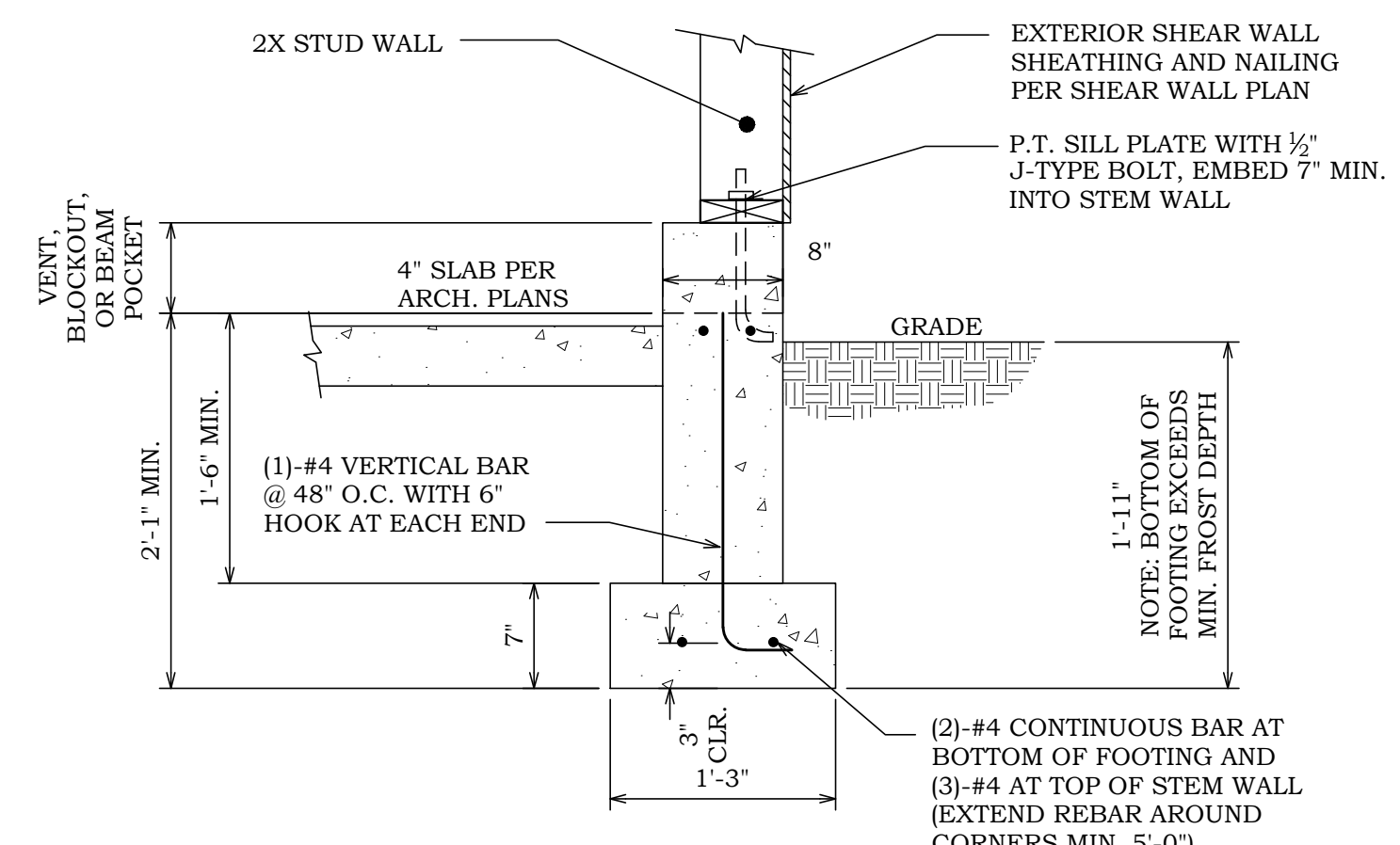
7 FLOOR SECTION
S2.0 SCALE: NONE



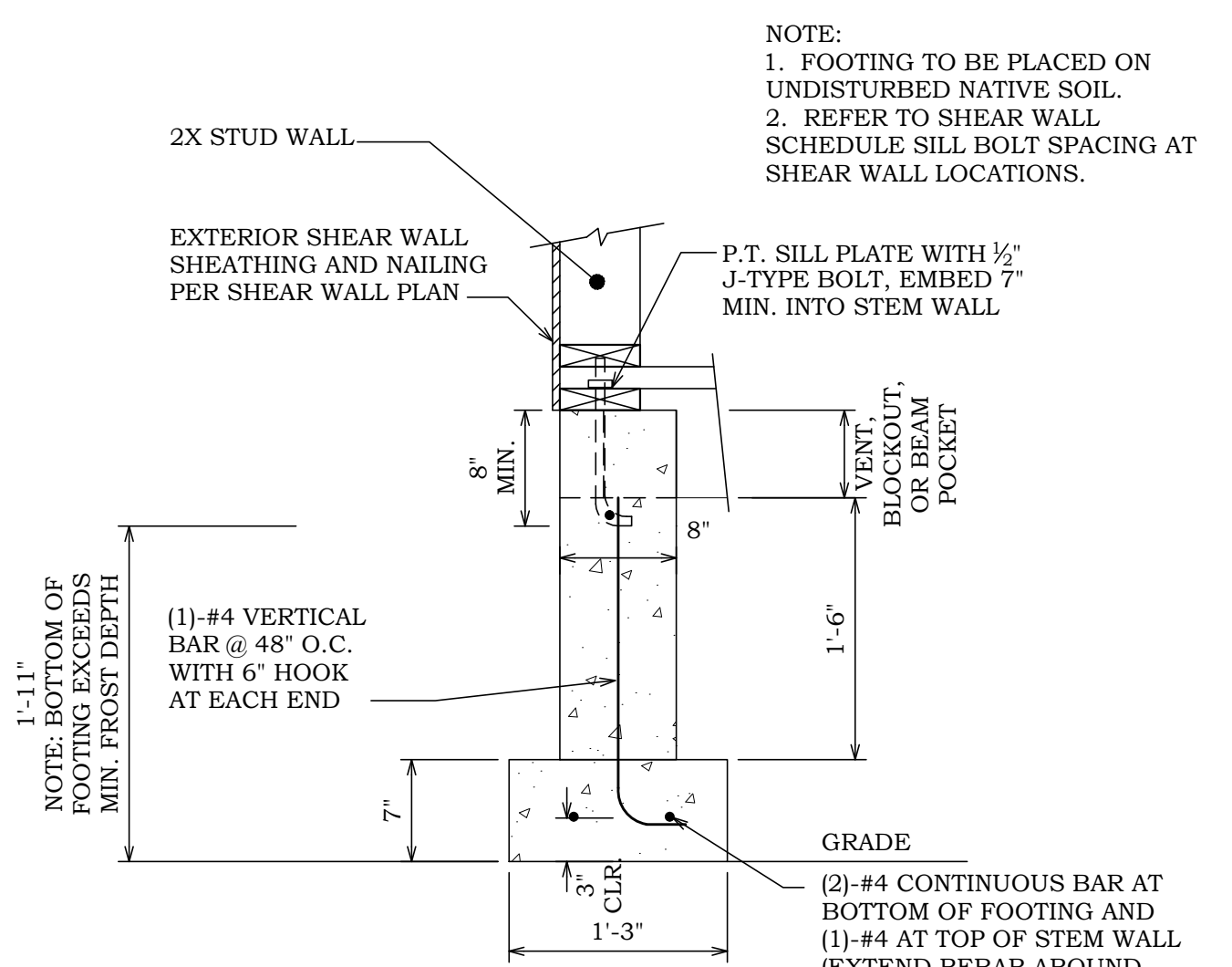
8 ROOF SECTION
S2.0 SCALE: NONE



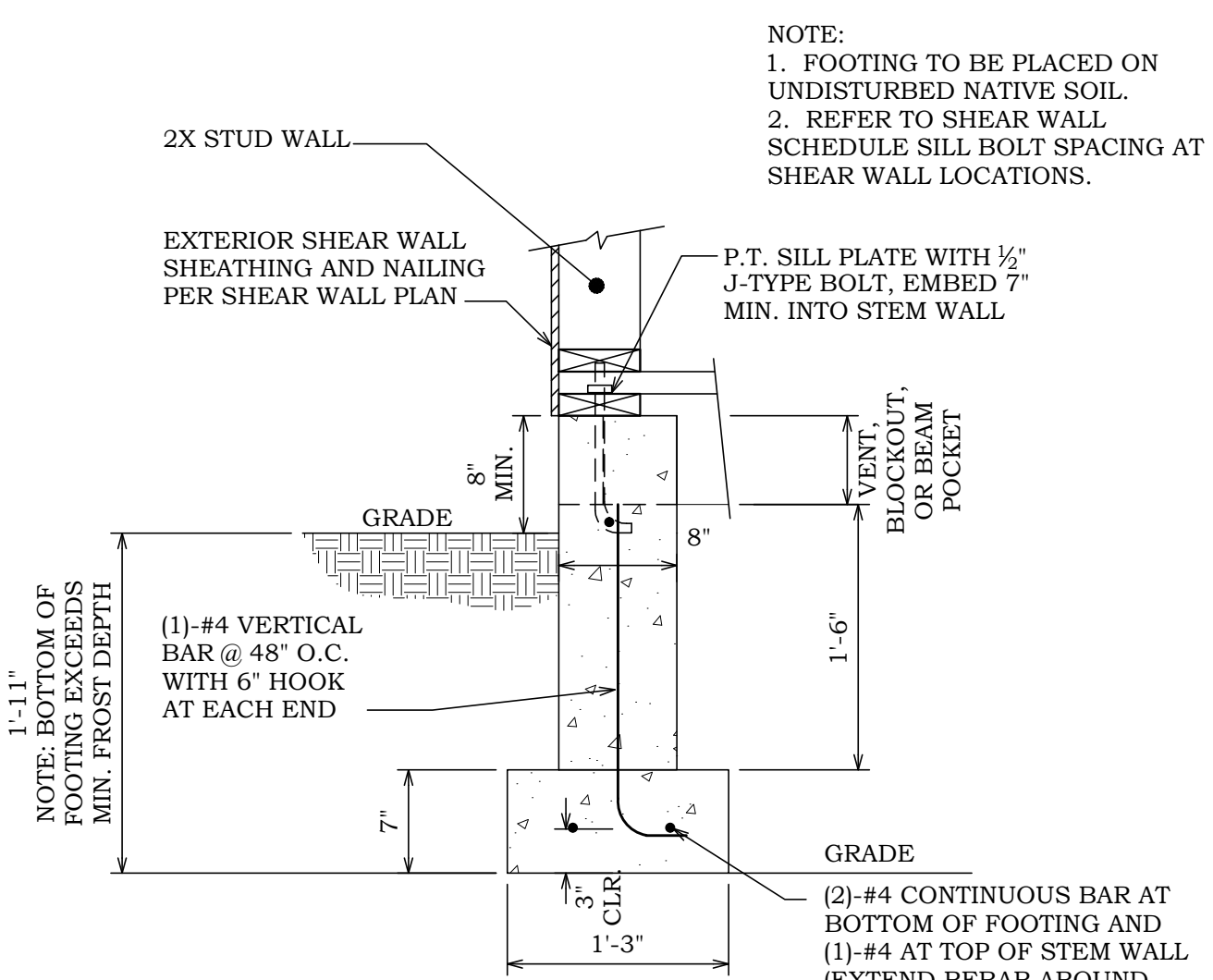
1 FOOTING SECTION
S2.0 SCALE: 1" = 1'-0"



2 FOOTING SECTION
S2.0 SCALE: 1" = 1'-0"



3 FOOTING SECTION
S2.0 SCALE: 1" = 1'-0"



4 FOOTING SECTION
S2.0 SCALE: 1" = 1'-0"

No.	DATE	DESCRIPTION

PROJECT NAME	LOE LOT 121
STRUCTURAL DETAILS	

TURNER ENGINEERING & DESIGN
Office/Cell: (503) 979-8807
Email: turner_tendesign@gmail.com
11220
EAGLE CREEK, OREGON 97022

ENGINEERS STAMP

WILLIAM JAMES TURNER
Professional Engineer
No. 41220
State of Oregon
EXPIRES OCT 20, 2021

ISSUE	CD
DESIGNED BY	RJT
DRAWN BY	RJT
CHECKED BY	RJT
DATE	10/31/19
PROJECT NO.	R19463
SHEET NO.	S2.0