

COMMUNITY DEVELOPMENT DIRECTOR
APPROVED BY [Signature] 3/26/18
DATE

CITY ENGINEER
APPROVED BY [Signature] 3/27/18
DATE

CITY OF BATTLE GROUND MAYOR
APPROVED BY [Signature] 3/26/18
DATE

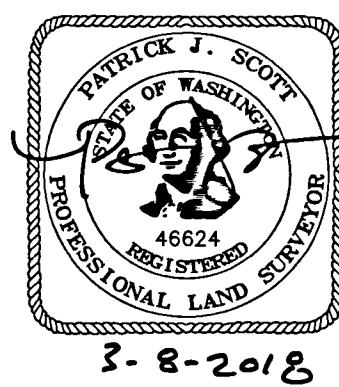
COUNTY AUDITOR
ATTESTED BY [Signature] For Greg Kinsey
COUNTY AUDITOR

FILED FOR RECORD THIS 27 DAY OF March, 2018.
AUDITORS FILE NO. 5498460 BOOK 311, PAGE 950.

COUNTY ASSESSOR
THIS PLAT MEETS THE REQUIREMENTS OF R.C.W. NO. 58.17.170,
LAWS OF WASHINGTON, 1981, TO BE KNOWN AS

LONE OAK ESTATES III PHASE 1
SUBDIVISION PLAT NO. [Blank] IN THE COUNTY OF
CLARK, STATE OF WASHINGTON
Peter Van Nortwick by Nadine Wiegarden 3-27-18
COUNTY ASSESSOR DATE

LAND SURVEYOR'S CERTIFICATION
ON THE BASIS OF MY KNOWLEDGE, INFORMATION AND
BELIEF, I CERTIFY TO CLARK COUNTY THAT AS A RESULT
OF A SURVEY MADE ON THE GROUND TO THE NORMAL
STANDARD OF CARE OF PROFESSIONAL LAND SURVEYORS
PRACTICING IN CLARK COUNTY, I FIND THAT THIS PLAT,
AS SHOWN, IS A TRUE RETURN FROM THE FIELD AND
THAT THE DELINEATION IS CORRECT.
Patrick J. Scott 3-8-2018
PATRICK J. SCOTT DATE
PROFESSIONAL LAND SURVEYOR NO. 46624



DEED REFERENCES

GRANTOR: WALDAL, ART B
WALDAL, CAROL A
MENCER, KENNETH R
MENCER, LOIS A
GRANTEE: WALDAL, ART B
WALDAL, CAROL A
MENCER, KENNETH R
MENCER, LOIS A
A.F. #: 5223362 BIA
DATE: 10-13-2015
GRANTOR: WALDAL, ART B AND WALDAL, CAROL A
GRANTEE: RIDGE INVESTMENTS LLC
A.F. #: 5229052
DATE: 11-03-2015

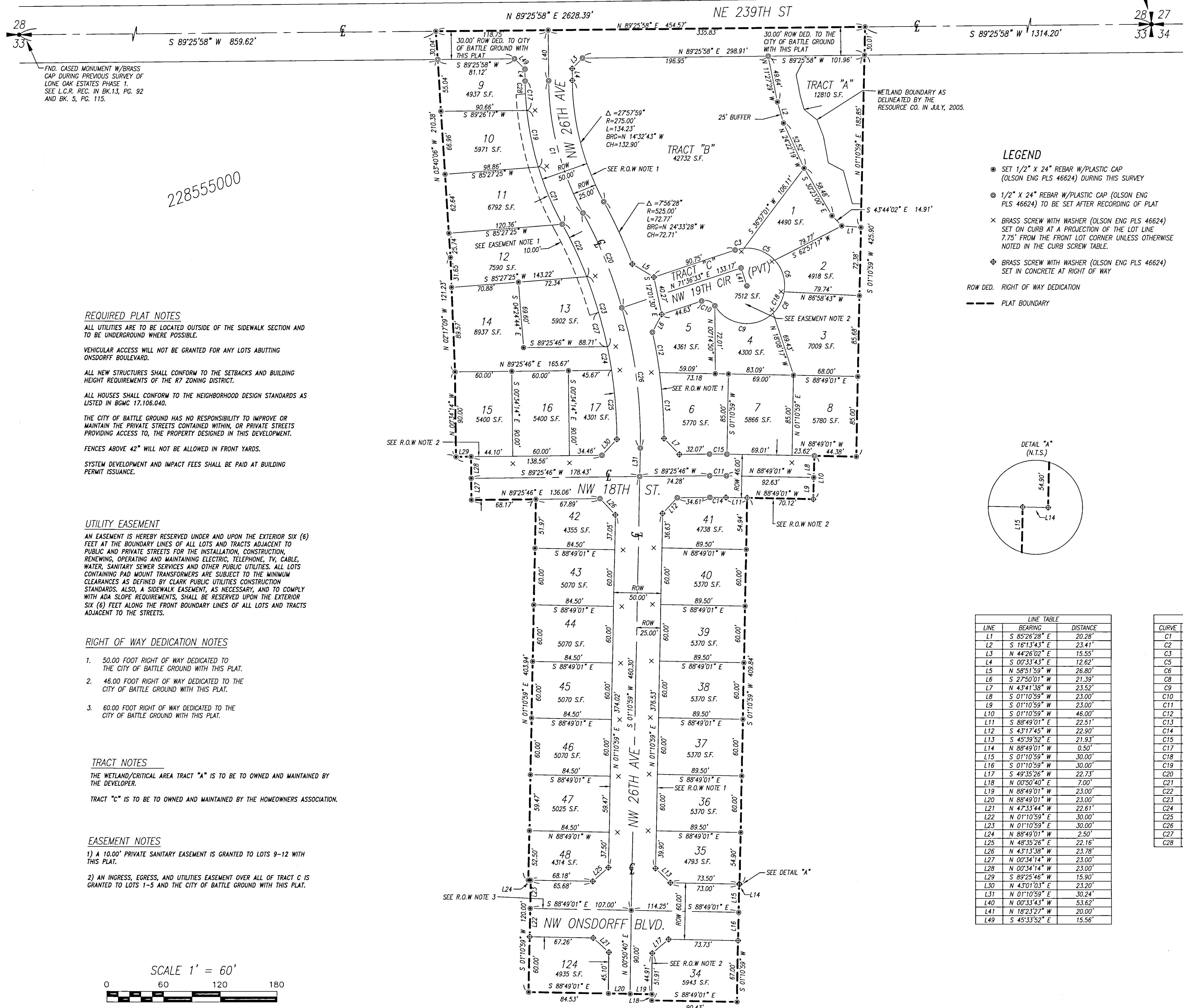
SURVEY REFERENCES

LONE OAK ESTATES PHASE I BK. 310, PG. 967
EV HILL AND ASSOCIATES BK. 14, PG. 139
LONE OAK ESTATES PHASE II BK. 311, PG. 374

PROCEDURE

FIELD TRAVERSES WERE PERFORMED WITH A TRIMBLE
S8 TOTAL STATION (ST) AND ADJUSTED BY LEAST SQUARES.
THE FIELD TRAVERSES MET THE MINIMUM STANDARDS
FOR SURVEYS AS DESIGNATED IN WAC 332-130-090.

LONE OAK ESTATES III
PHASE 1



REQUIRED PLAT NOTES

ALL UTILITIES ARE TO BE LOCATED OUTSIDE OF THE SIDEWALK SECTION AND
TO BE UNDERGROUND WHERE POSSIBLE.
VEHICULAR ACCESS WILL NOT BE GRANTED FOR ANY LOTS ABUTTING
ONSDORFF BOULEVARD.
ALL NEW STRUCTURES SHALL CONFORM TO THE SETBACKS AND BUILDING
HEIGHT REQUIREMENTS OF THE R7 ZONING DISTRICT.
ALL HOUSES SHALL CONFORM TO THE NEIGHBORHOOD DESIGN STANDARDS AS
LISTED IN BGMC 17.106.040.
THE CITY OF BATTLE GROUND HAS NO RESPONSIBILITY TO IMPROVE OR
MAINTAIN THE PRIVATE STREETS CONTAINED WITHIN, OR PRIVATE STREETS
PROVIDING ACCESS TO, THE PROPERTY DESIGNED IN THIS DEVELOPMENT.
FENCES ABOVE 42" WILL NOT BE ALLOWED IN FRONT YARDS.
SYSTEM DEVELOPMENT AND IMPACT FEES SHALL BE PAID AT BUILDING
PERMIT ISSUANCE.

UTILITY EASEMENT

AN EASEMENT IS HEREBY RESERVED UNDER AND UPON THE EXTERIOR SIX (6)
FEET AT THE BOUNDARY LINES OF ALL LOTS AND TRACTS ADJACENT TO
PUBLIC AND PRIVATE STREETS FOR THE INSTALLATION, CONSTRUCTION,
RENEWING, OPERATING AND MAINTAINING ELECTRIC, TELEPHONE, TV, CABLE,
WATER, SANITARY SEWER SERVICES AND OTHER PUBLIC UTILITIES. ALL LOTS
CONTAINING PAD MOUNT TRANSFORMERS ARE SUBJECT TO THE MINIMUM
CLEARANCES AS DEFINED BY CLARK PUBLIC UTILITIES CONSTRUCTION
STANDARDS. ALSO, A SIDEWALK EASEMENT, AS NECESSARY, AND TO COMPLY
WITH ADA SLOPE REQUIREMENTS, SHALL BE RESERVED UPON THE EXTERIOR
SIX (6) FEET ALONG THE FRONT BOUNDARY LINES OF ALL LOTS AND TRACTS
ADJACENT TO THE STREETS.

RIGHT OF WAY DEDICATION NOTES

- 1. 50.00 FOOT RIGHT OF WAY DEDICATED TO THE CITY OF BATTLE GROUND WITH THIS PLAT.
2. 46.00 FOOT RIGHT OF WAY DEDICATED TO THE CITY OF BATTLE GROUND WITH THIS PLAT.
3. 60.00 FOOT RIGHT OF WAY DEDICATED TO THE CITY OF BATTLE GROUND WITH THIS PLAT.

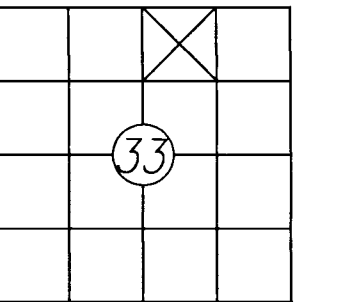
TRACT NOTES

THE WETLAND/CRITICAL AREA TRACT "A" IS TO BE OWNED AND MAINTAINED BY
THE DEVELOPER.
TRACT "C" IS TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

EASEMENT NOTES

- 1) A 10.00' PRIVATE SANITARY EASEMENT IS GRANTED TO LOTS 9-12 WITH THIS PLAT.
2) AN INGRESS, EGRESS, AND UTILITIES EASEMENT OVER ALL OF TRACT C IS GRANTED TO LOTS 1-5 AND THE CITY OF BATTLE GROUND WITH THIS PLAT.

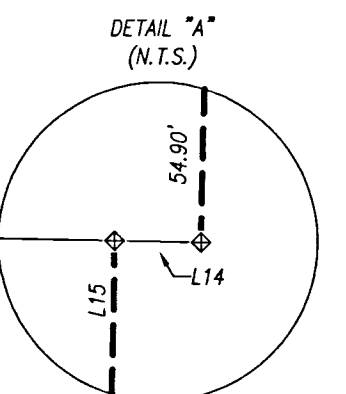
FIND CASED MONUMENT W/BRASS
CAP DURING PREVIOUS SURVEY OF
LONE OAK ESTATES PHASE I.
SEE L.C.R. REC. IN BK. 5, PG. 93.



LEGEND

- SET 1/2" X 24" REBAR W/PLASTIC CAP (OLSON ENG PLS 46624) DURING THIS SURVEY
● 1/2" X 24" REBAR W/PLASTIC CAP (OLSON ENG PLS 46624) TO BE SET AFTER RECORDING OF PLAT
x BRASS SCREW WITH WASHER (OLSON ENG PLS 46624) SET ON CURB AT A PROJECTION OF THE LOT LINE 7.75' FROM THE FRONT LOT CORNER UNLESS OTHERWISE NOTED IN THE CURB SCREW TABLE.
◆ BRASS SCREW WITH WASHER (OLSON ENG PLS 46624) SET IN CONCRETE AT RIGHT OF WAY
ROW DED. RIGHT OF WAY DEDICATION
--- PLAT BOUNDARY

Table with 4 columns: CURB SCREW TABLE, LOT LINE, DISTANCE. Rows include 15/16, 16/17, 6/7, 7.75', 13/14, 8/9', 12/13, 4/7', 1/2", 3/4', 1/2", 3/4', 1/2", 3/4'.



BASE OF BEARINGS
BEARINGS ARE ASSUMED BASED ON N 89°25'58" E
BETWEEN THE CASED MONUMENT AT THE N 1/4
CORNER AND THE NE CORNER OF SECTION 33.

LINE TABLE with columns: LINE, BEARING, DISTANCE. Lists lines L1 through L49 with their respective bearings and distances.

CURVE TABLE with columns: CURVE, DELTA ANGLE, RADIUS, ARC LENGTH, CHORD BEARING, CHORD LENGTH. Lists curves C1 through C28 with their respective parameters.

