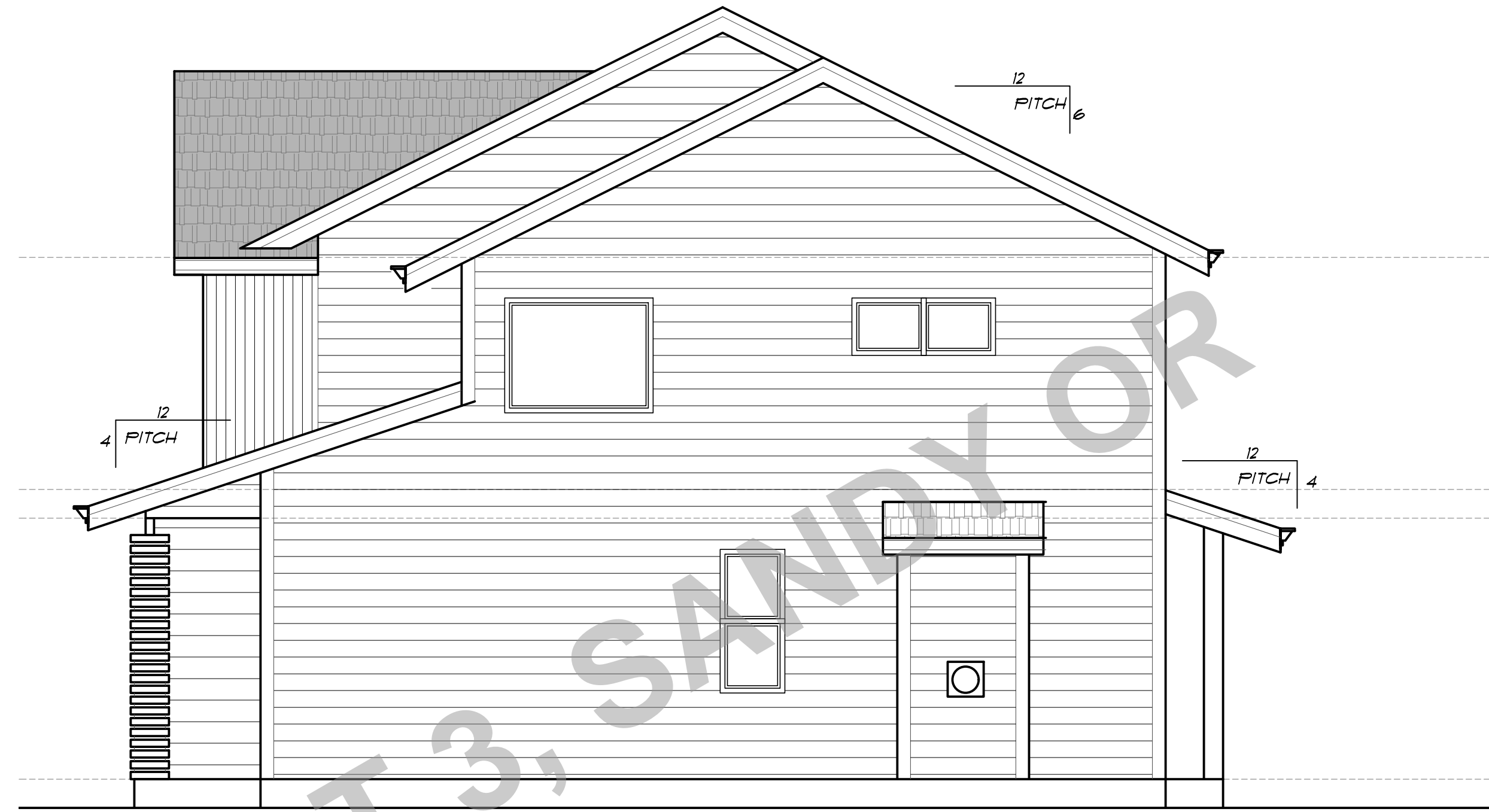
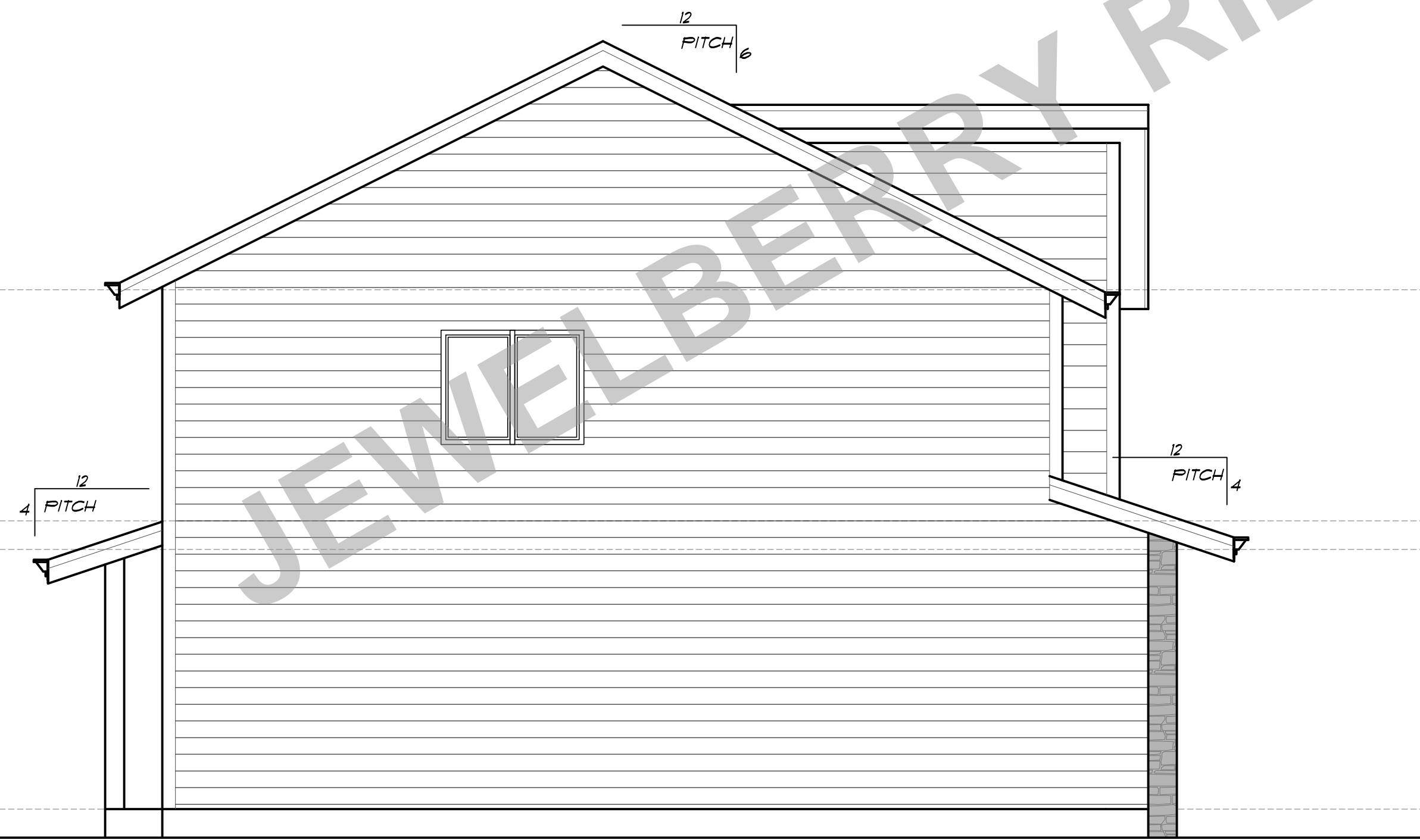




FRONT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION

PLAN NO: 11514 D  
 DATE: 12-19-22  
 SCALE: 1/4" = 1'-0"

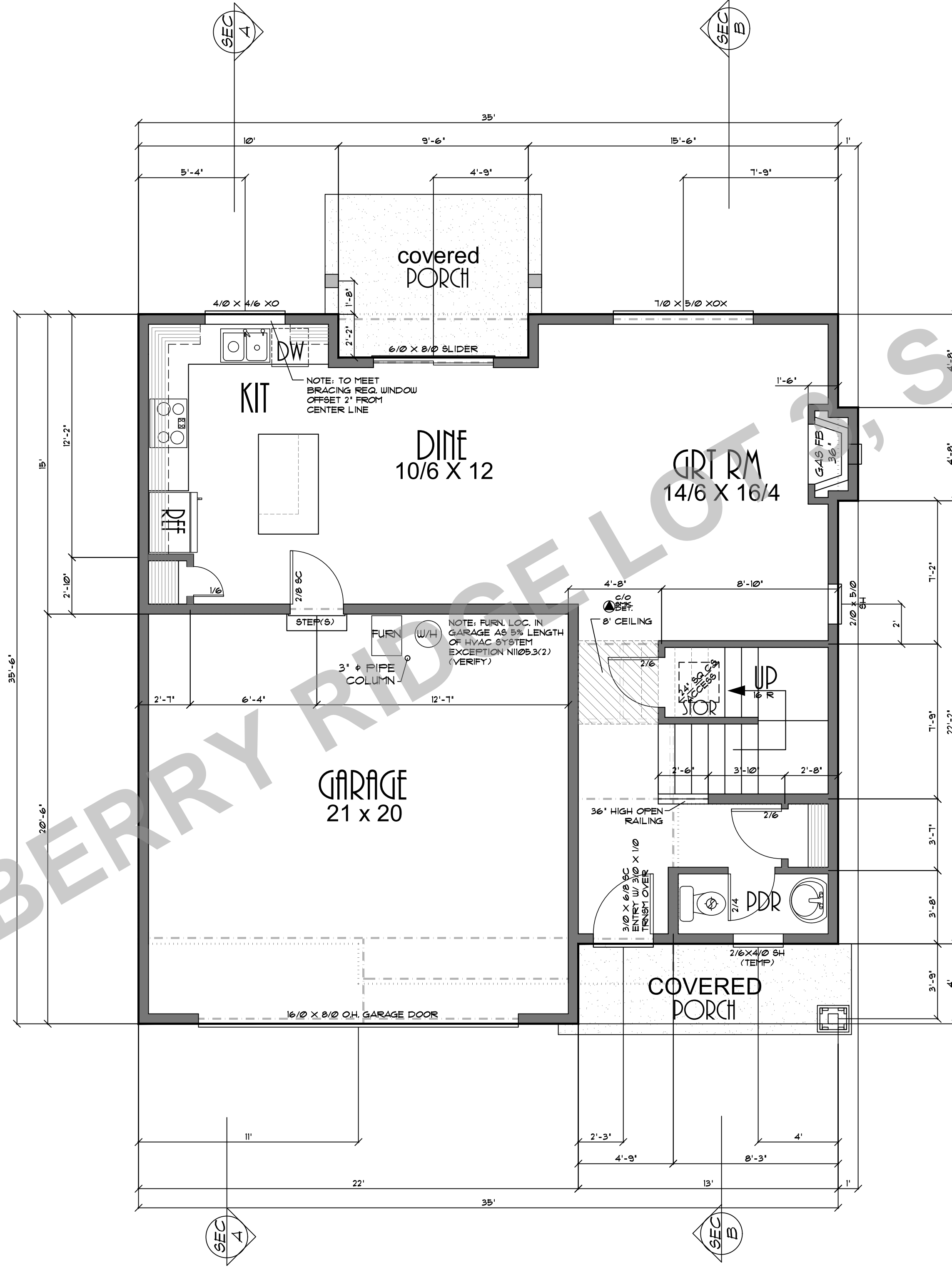
CLIENT NAME: THE FAIRVIEW D JBR RAZE LOT 3  
 LOCATION:

SHEET TITLE: MAIN FLOOR PLAN  
 SQUARE FEET:

THESE PLANS HAVE BEEN PREPARED BY THE ARCHITECT FOR THE CUSTOMER FOR THE USE IN THE CONSTRUCTION OF THE PROJECT DESCRIBED THEREIN. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CUSTOMER. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL DESIGN SERVICES PROVIDED HEREIN. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY OMISSIONS, MISTAKES, OR ERRORS IN THE PLANS OR FOR ANY DAMAGE TO PERSONS OR PROPERTY, INCLUDING BUT NOT LIMITED TO, DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE NEGLIGENCE OF THE ARCHITECT OR ANY OTHER PARTY. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL DESIGN SERVICES PROVIDED HEREIN. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY OMISSIONS, MISTAKES, OR ERRORS IN THE PLANS OR FOR ANY DAMAGE TO PERSONS OR PROPERTY, INCLUDING BUT NOT LIMITED TO, DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE NEGLIGENCE OF THE ARCHITECT OR ANY OTHER PARTY.

SHEET NR:  
**1**

JEWEL BERRY RIDGE LOT 3, SANDY OR



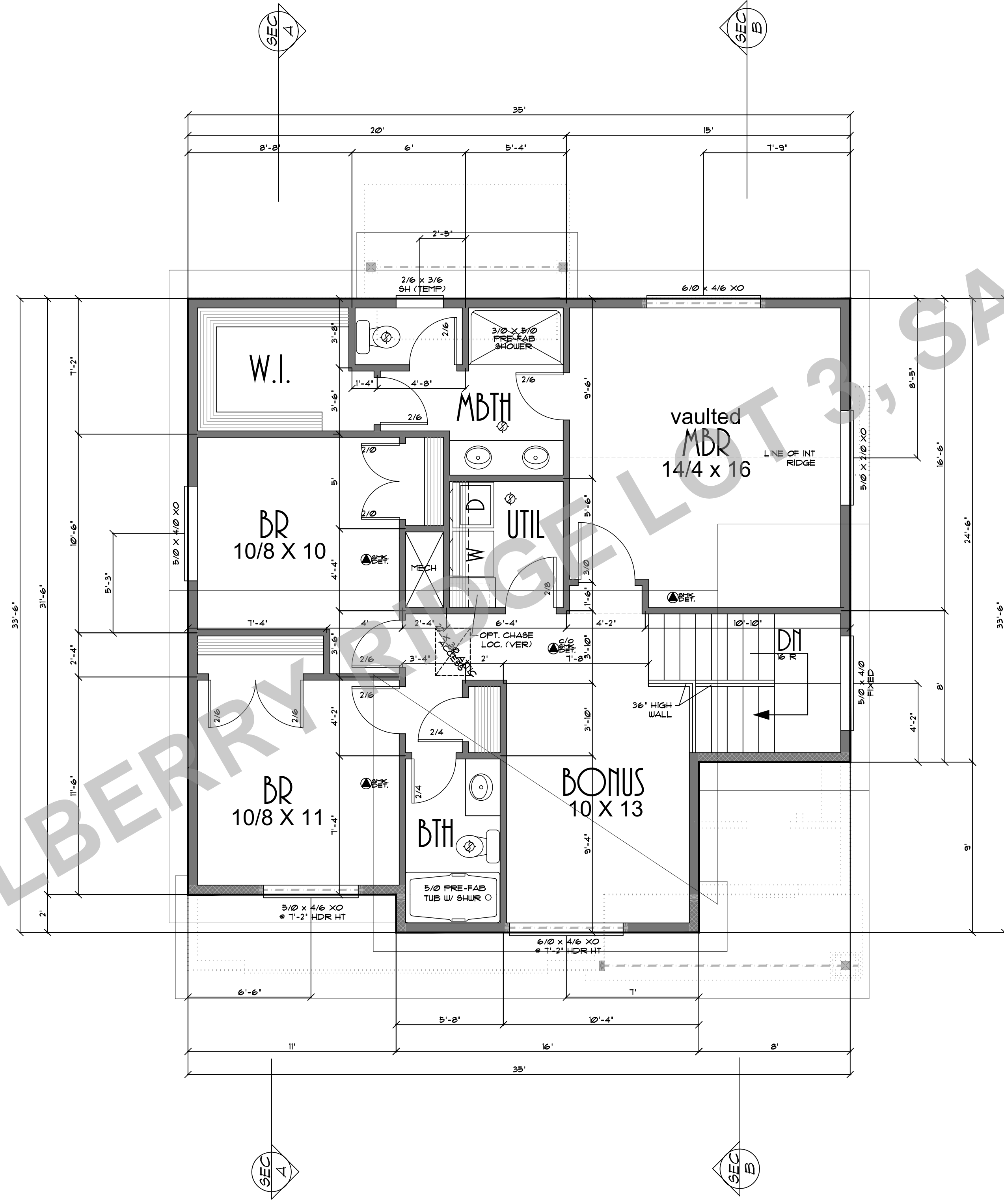
PLAN NO:	11514D
DATE:	12-19-22
SCALE:	1/4" = 1'-0"

CLIENT NAME:	THE FAIRVIEW D JBR RAZE LOT 3
LOCATION:	
SHEET TITLE:	MAIN FLOOR PLAN
SQUARE FEET:	790 SQUARE FEET



THESE PLANS HAVE BEEN LICENSED TO THE CUSTOMER FOR THE USE IN THE STATE OF OREGON. THE CUSTOMER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY CHANGES OR MODIFICATIONS TO THESE PLANS MADE BY THE CUSTOMER OR ANY OTHER PARTY. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THESE PLANS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR INTERRUPTIONS OF SERVICE. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY COSTS INCURRED BY THE CUSTOMER IN CONNECTION WITH THE USE OF THESE PLANS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY LIABILITY ARISING OUT OF THE USE OF THESE PLANS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY OTHER MATTER NOT EXPRESSLY PROVIDED FOR IN THESE PLANS.

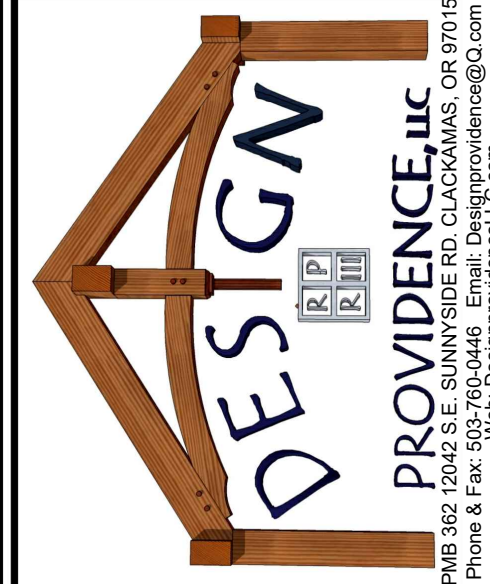
SHEET NR:  
**2**



CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT FOR THE USE IN THE PREPARATION OF THESE PLANS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT FOR THE USE IN THE PREPARATION OF THESE PLANS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT FOR THE USE IN THE PREPARATION OF THESE PLANS.

SHEET NR:

3



CLIENT NAME:

THE FAIRVIEW D JBR RAZE LOT 3

PLAN NO: 11514 D

DATE: 12-19-22

LOCATION:

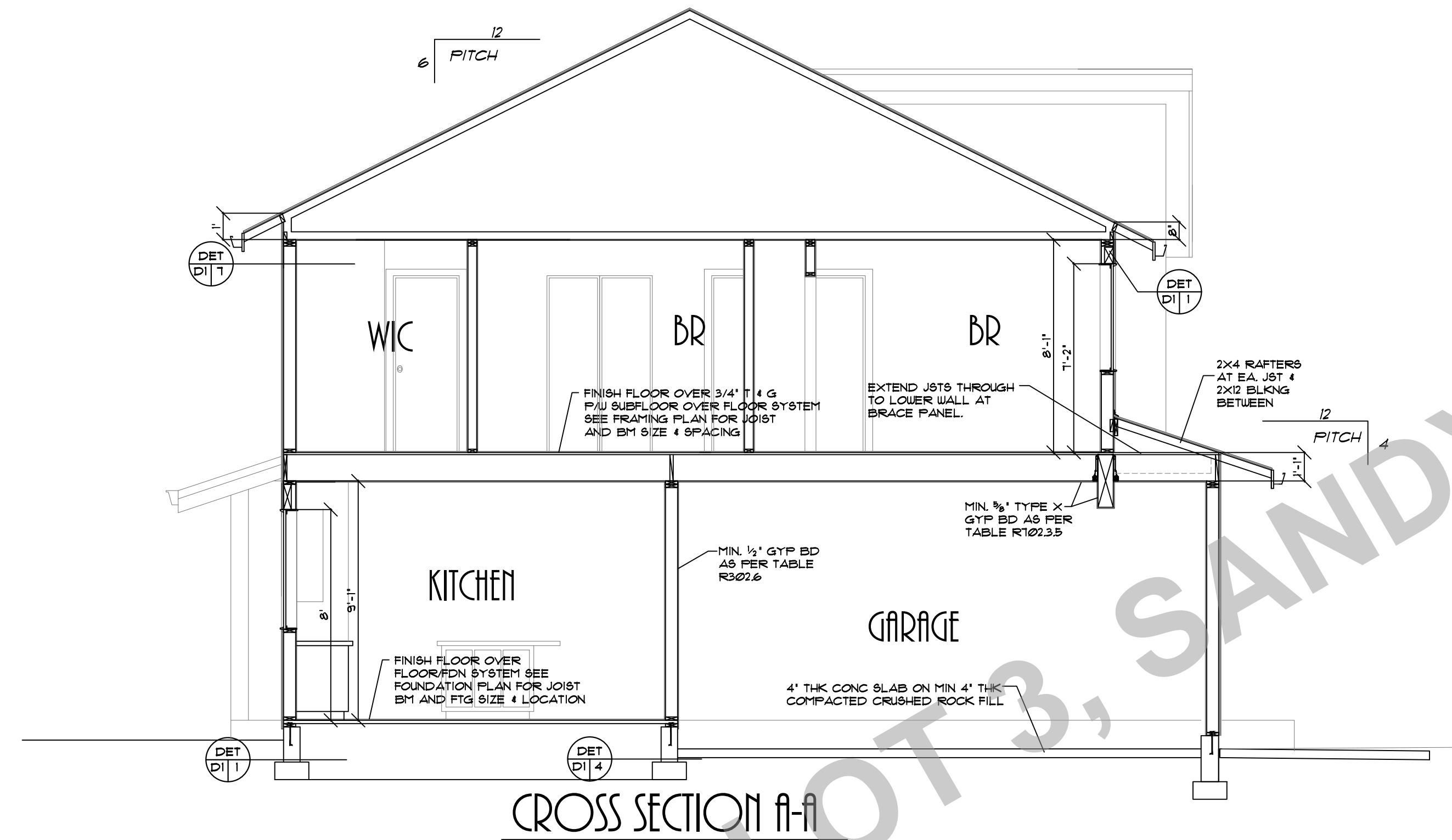
SHEET TITLE:

UPPER FLOOR PLAN

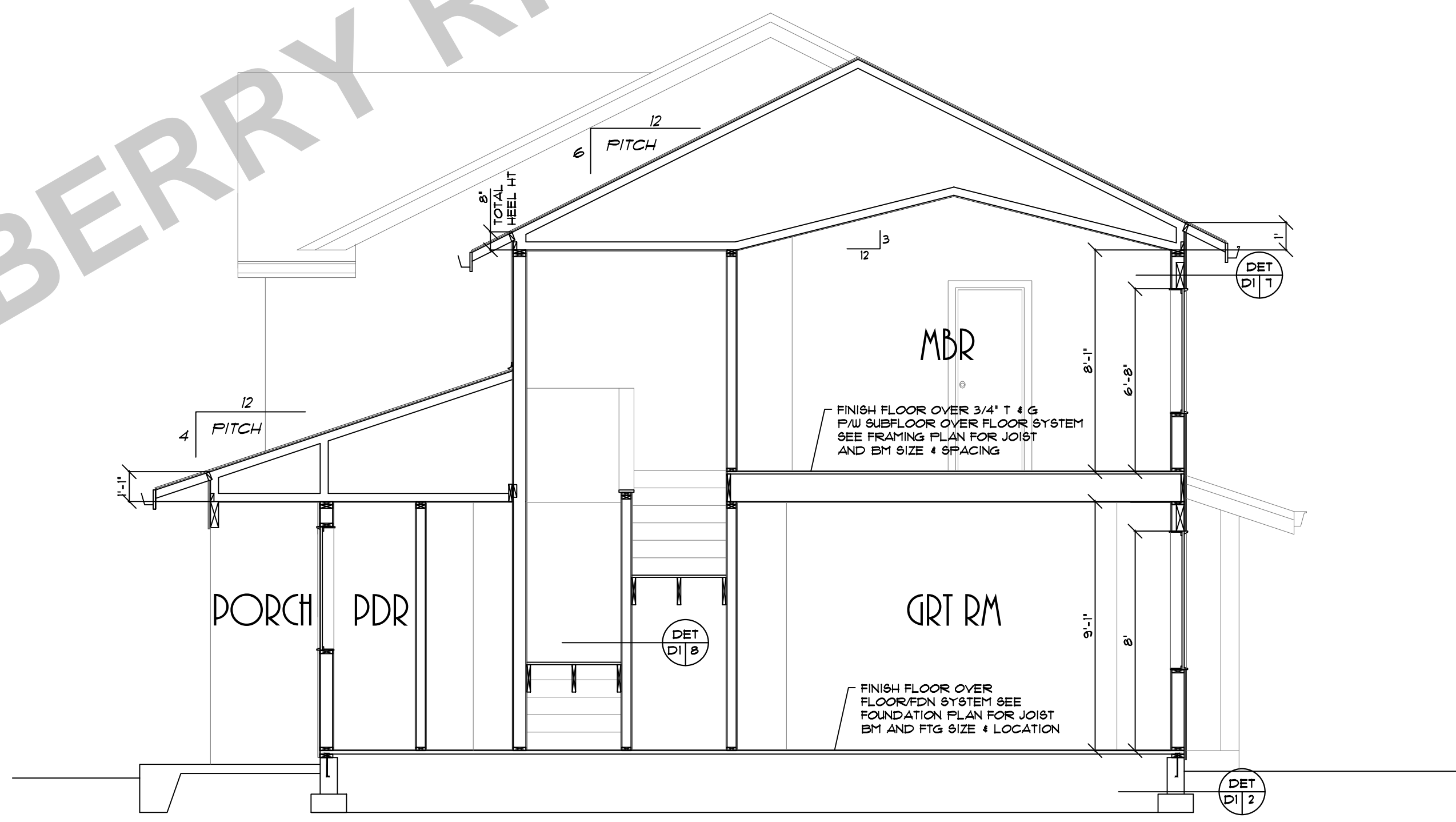
SQUARE FEET:

1070 SQUARE FEET

SCALE: 1/4" = 1'-0"



CROSS SECTION A-A



CROSS SECTION B-B

JEWELBERRY RIDGE LOT 3, SANDY OR

PLAN NO: 11514 D  
 DATE: 12-19-22  
 SCALE: 1/4" = 1'-0"

CLIENT NAME: THE FAIRVIEW D JBR RAZE LOT 3

LOCATION:   
 SHEET TITLE: CROSS SECTIONS  
 SQUARE FEET:

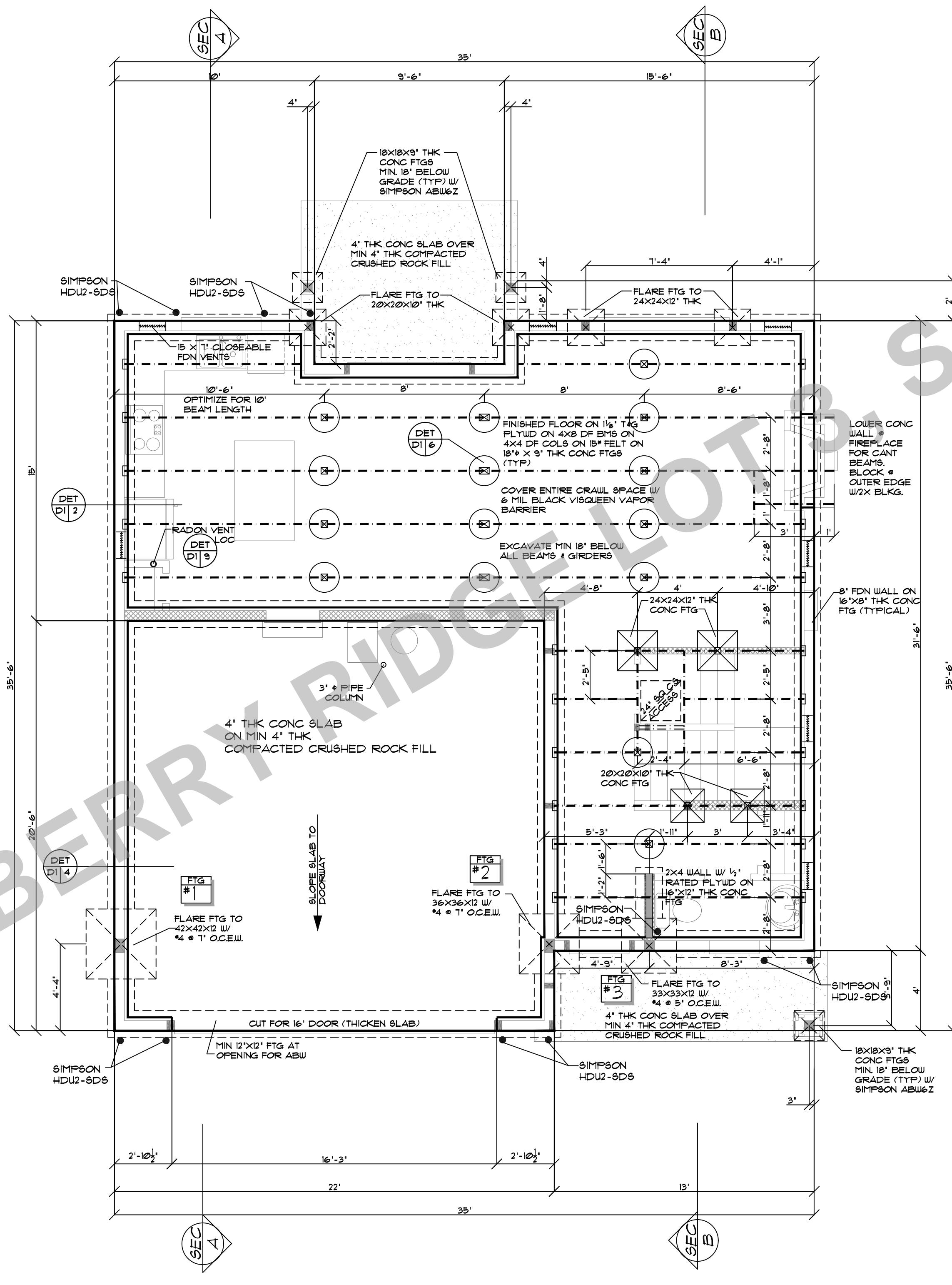


PROVIDENCE IIC DESIGN LLC  
 100 W. MAIN ST. SUITE 100, CLACKAMAS, OR 97105  
 Phone & Fax: 503-760-0448 Email: Design@providenceiic.com  
 Web: Design@providenceiic.com

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SHEET NR.  
**4**

JEWEL BERRY RIDGE LOT 3 SANDY OR



PLAN NO: 11514 D  
 DATE: 12-19-22  
 SCALE: 1/4" = 1'-0"

THE FAIRVIEW D JBR RAZE LOT 3

CLIENT NAME:  
 LOCATION:  
 SHEET TITLE:  
 SQUARE FEET:

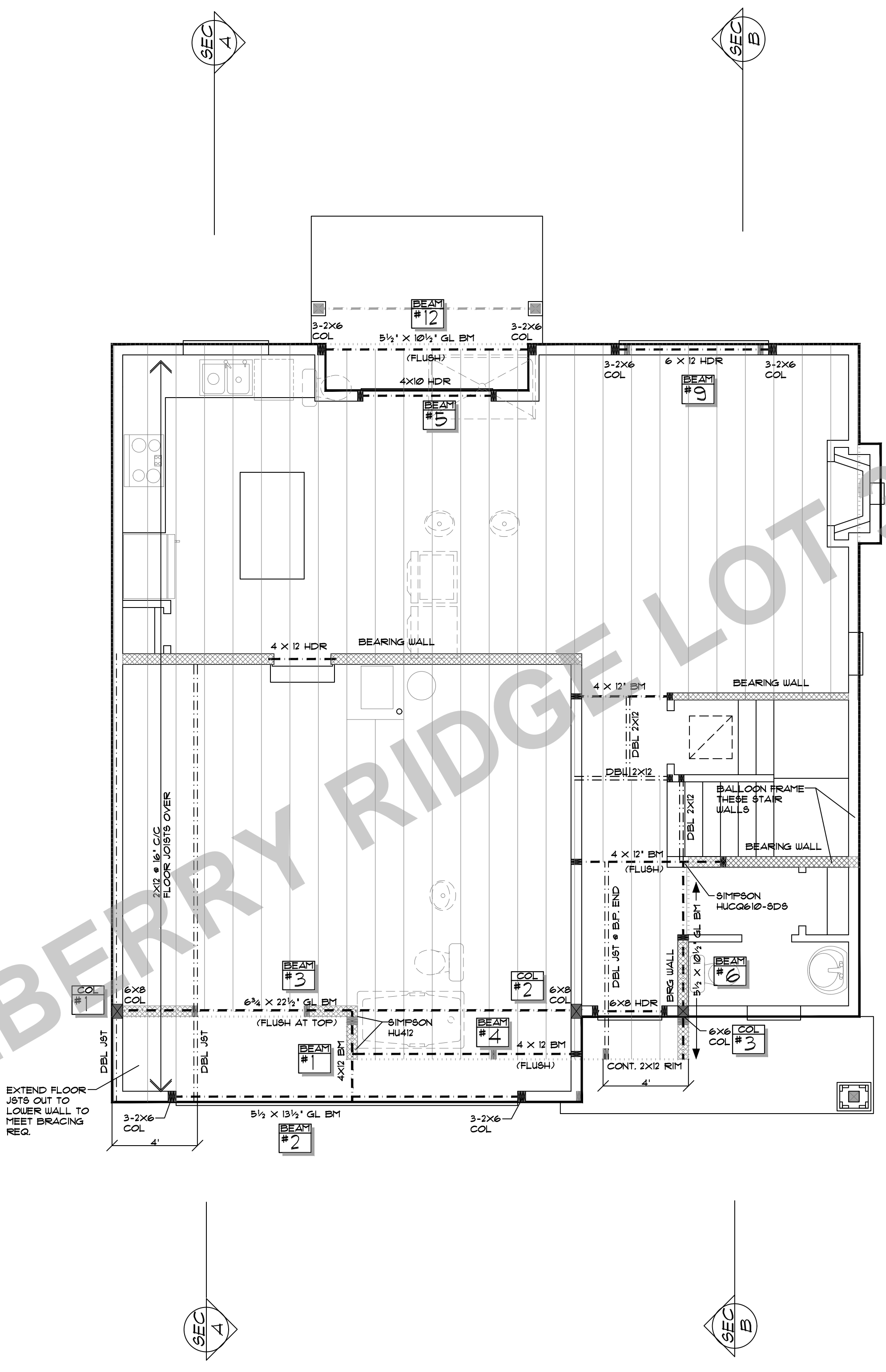
# FOUNDATION PLAN



THIS PLAN IS THE PROPERTY OF PROVIDENCE, LLC AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PROVIDENCE, LLC. THE USER OF THIS PLAN AGREES TO HOLD PROVIDENCE, LLC HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THIS PLAN. PROVIDENCE, LLC DOES NOT WARRANT THE ACCURACY OF THIS PLAN OR THE SUITABILITY OF THIS PLAN FOR ANY PARTICULAR USE. PROVIDENCE, LLC IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. PROVIDENCE, LLC IS NOT A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT. PROVIDENCE, LLC IS NOT PROVIDING ANY PROFESSIONAL SERVICES. PROVIDENCE, LLC IS PROVIDING THIS PLAN AS A SERVICE TO THE USER. PROVIDENCE, LLC IS NOT PROVIDING ANY PROFESSIONAL SERVICES. PROVIDENCE, LLC IS PROVIDING THIS PLAN AS A SERVICE TO THE USER. PROVIDENCE, LLC IS NOT PROVIDING ANY PROFESSIONAL SERVICES. PROVIDENCE, LLC IS PROVIDING THIS PLAN AS A SERVICE TO THE USER.

SHEET NR:  
5

JEWEL BERRY RIDGE LOT 3 SANDY OR



**NOTE: MIN BEARING POST TO (2)X TO MATCH WALL UNLESS NOTED OTHERWISE**

**NOTE: INSTALLATION OF DUCTS**  
 ALL NEW DUCT SYSTEMS AND AIR HANDLING EQUIPMENT AND APPLIANCES SHALL BE LOCATED FULLY WITHIN THE BUILDING THERMAL ENVELOPE.

**EXCEPTION:**  
 1. VENTILATION INTAKE DUCTWORK AND EXHAUST DUCTWORK  
 2. UP TO 5 PERCENT OF THE LENGTH OF AN HVAC SYSTEM DUCTWORK SHALL BE PERMITTED TO BE LOCATED OUTSIDE OF THE THERMAL ENVELOPE.  
 3. DUCTS DEEPLY BURIED IN INSULATION IN ACCORDANCE ALL OF THE FOLLOWING:  
 3.1 INSULATION SHALL BE INSTALLED TO FILL GAPS AND VOIDS BETWEEN THE DUCT AND THE CEILING, AND A MINIMUM OF R-19 INSULATION SHALL BE INSTALLED ABOVE THE DUCT BETWEEN THE DUCT AND UNCONDITIONED ATTIC.  
 3.2 INSULATION DEPTH MARKER FLAGS SHALL BE INSTALLED ON THE DUCTS EVERY 10 FT OR AS APPROVED BY THE BUILDING OFFICIAL.

PLUM NO: 11514 D  
 DATE: 12-19-22  
 SCALE: 1/4" = 1'-0"

CLIENT NAME: THE FAIRVIEW D JBR RAZE LOT 3

LOCATION

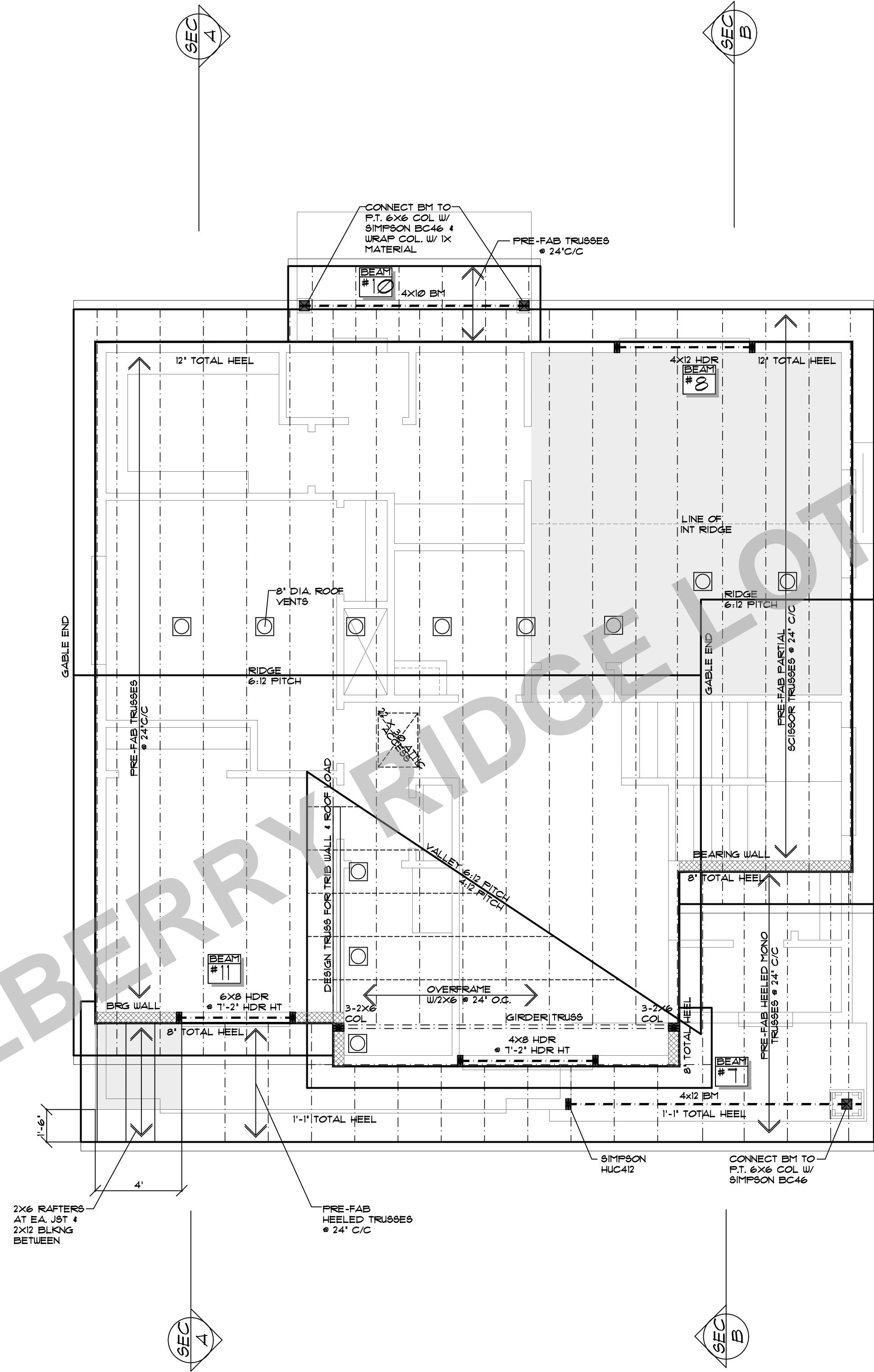
SHEET TITLE: CEILING FRAMING

SQUARE FEET:



THESE PLANS HAVE BEEN LICENSED TO THE CUSTOMER FOR THE USE IN THE JURISDICTION OF THE STATE OF OREGON. THE CUSTOMER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY VIOLATIONS OF ANY APPLICABLE CODES OR REGULATIONS. THE CUSTOMER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY VIOLATIONS OF ANY APPLICABLE CODES OR REGULATIONS.

SHEET NR: 6



NOTE: MIN BEARING POST TO (2)2X TO MATCH WALL UNLESS NOTED OTHERWISE

**NOTE:3 INSTALLATION OF DUCTS**  
 ALL NEW DUCT SYSTEMS AND AIR HANDLING EQUIPMENT AND APPLIANCES SHALL BE LOCATED FULLY WITHIN THE BUILDING THERMAL ENVELOPE.  
 EXCEPTION:  
 1. VENTILATION INTAKE DUCTWORK AND EXHAUST DUCTWORK UP TO 5 PERCENT OF THE LENGTH OF AN HVAC SYSTEM DUCTWORK SHALL BE PERMITTED TO BE LOCATED OUTSIDE OF THE THERMAL ENVELOPE.  
 2. DUCTS DEEPLY BURIED IN INSULATION IN ACCORDANCE ALL OF THE FOLLOWING:  
 3.1 INSULATION SHALL BE INSTALLED TO FILL GAPS AND VOIDS BETWEEN THE DUCT AND THE CEILING, AND A MINIMUM OF R-19 INSULATION SHALL BE INSTALLED ABOVE THE DUCT BETWEEN THE DUCT AND UNCONDITIONED ATTIC.  
 3.2 INSULATION DEPTH MARKER FLAGS SHALL BE INSTALLED ON THE DUCTS EVERY 10 FT OR AS APPROVED BY THE BUILDING OFFICIAL.

NOTE:  
 PROVIDE ADEQUATE VENTING TO MEET R606.2 MINIMUM VENT AREA. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE.  
 1242 SF. / 300 = 936 SQ. IN. TOTAL VENTING  
 PROVIDE MIN. 238 SQ. IN. AT BIRD BLOCK VENTING  
 PROVIDE MIN. 238 SQ. IN. VENTING WITHIN 3' OF ROOF RIDGE

JEWEL BERRY RIDGE LOT 3

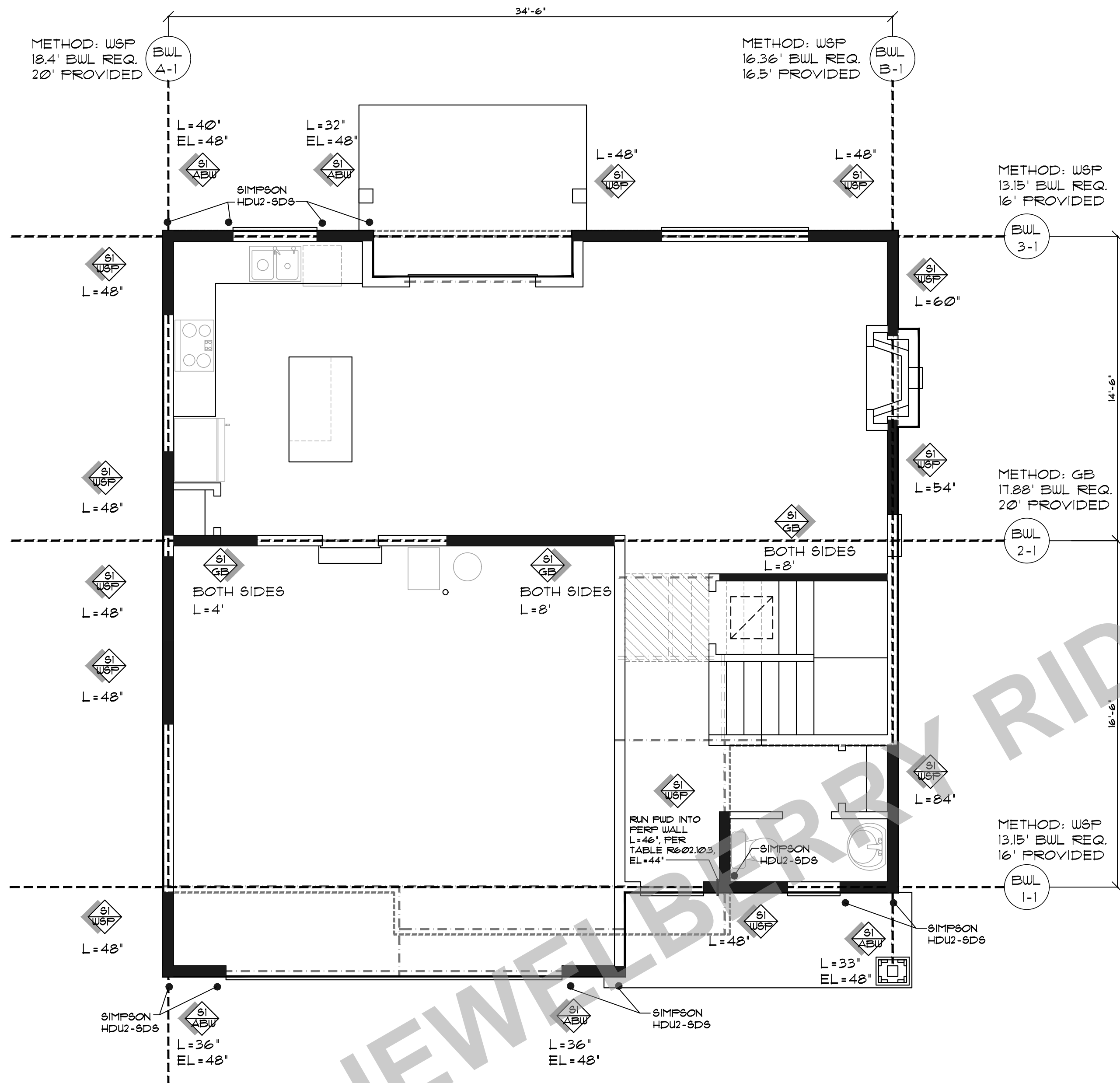
PLANT NO:	11514 D
DATE:	12-19-22
SCALE:	1/4" = 1'-0"

CLIENT NAME:	THE FAIRVIEW D JBR RAZE LOT 3
LOCATION:	
SHEET TITLE:	ROOF FRAMING PLAN
SQUARE FEET:	

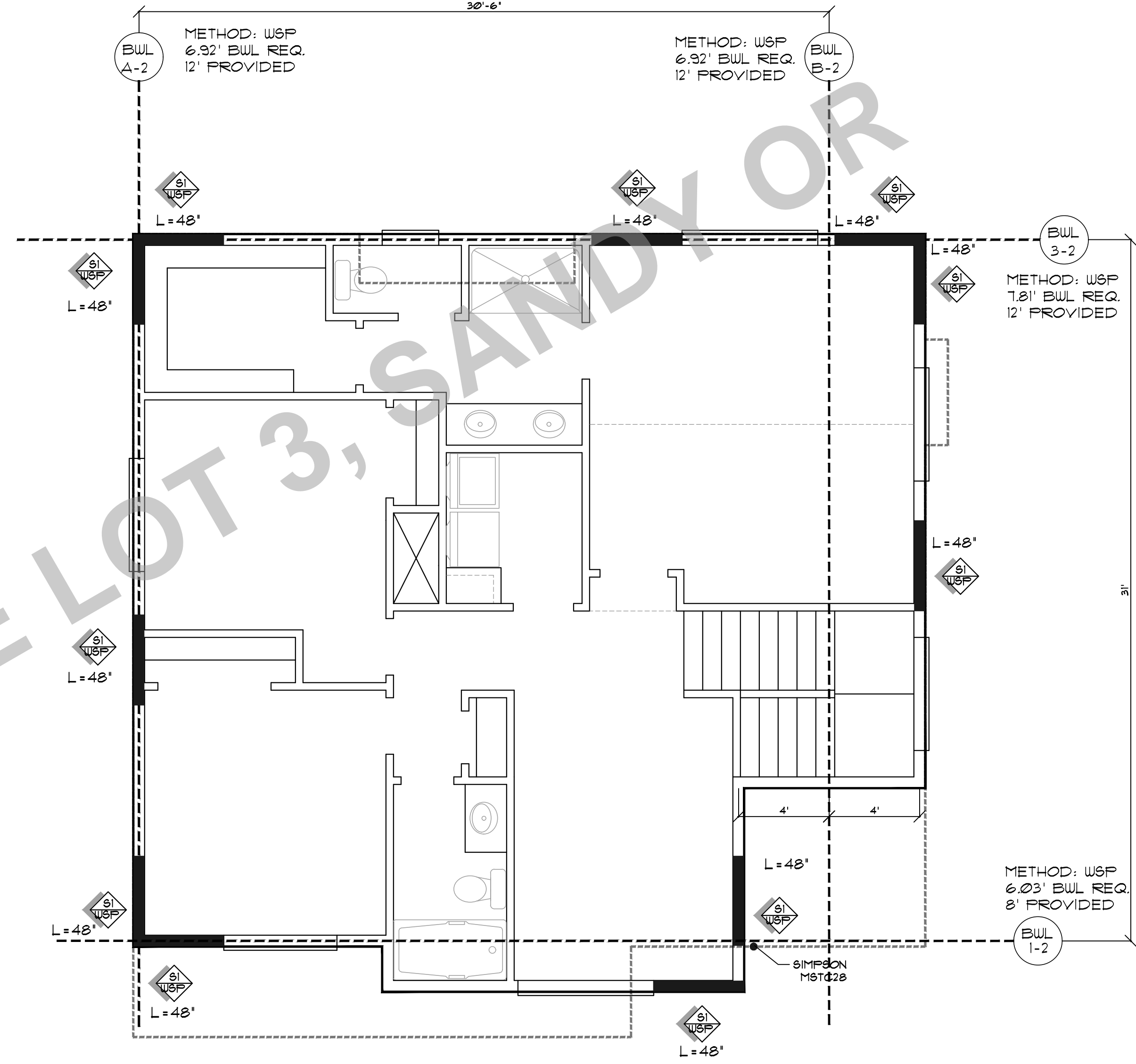


PROVIDENCE, LLC  
 1848 S.E. 204th St. Sunny Side Rd. Clacorn, WA 97015  
 Phone: 503-266-1111  
 Website: www.providenceinc.com

SHEET NR:  
**7**



MAIN FLOOR PLAN



UPPER FLOOR PLAN

THE FAIRVIEW D JBR RAZE LOT 3

CLIENT NAME: LOCATION: SHEET TITLE: SQUARE FEET:

**DESIGN**  
 PROVIDENCE, LLC  
 PMB 382, 2242 S.E. SUNNY SIDE RD. CLACKAMAS, OR 97015  
 Phone & Fax: 503.638.0000  
 Email: info@providencellc.com

PLAN NO: 11514 D  
 DATE: 12-19-22  
 SCALE: 1/4" = 1'-0"

**PRESCRIPTIVE WALL BRACING**

THIS PLAN HAS BEEN PREPARED BY THE ARCHITECT FOR THE USE IN THE FIELD OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF THE INFORMATION AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION OR THE RESULTS OF ANY FIELD VERIFICATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION OR THE RESULTS OF ANY FIELD VERIFICATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION OR THE RESULTS OF ANY FIELD VERIFICATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

SHEET NR:  
**S**





<b>WSP</b> Wood structural panel (See Section R604)	3/8"		Exterior sheathing per Table R602.3(3) Interior sheathing per Table R602.3(1) or R602.3(2)	6" edges 12" field Varies by fastener
<b>GB</b> Gypsum board	1/2"		Nails or screws per Table R602.3(1) for exterior locations Nails or screws per Table R702.3.5 for interior locations	For all braced wall panel locations: 7" edges (including top and bottom plates) 7" field

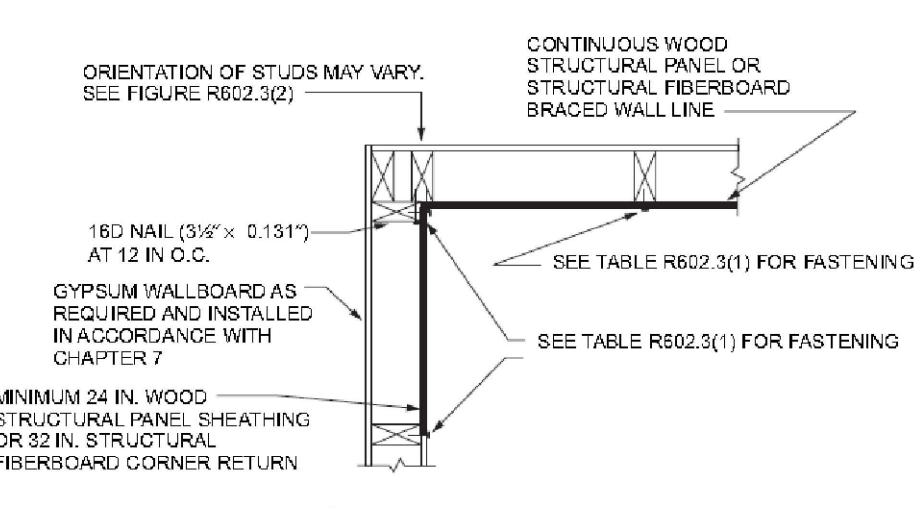
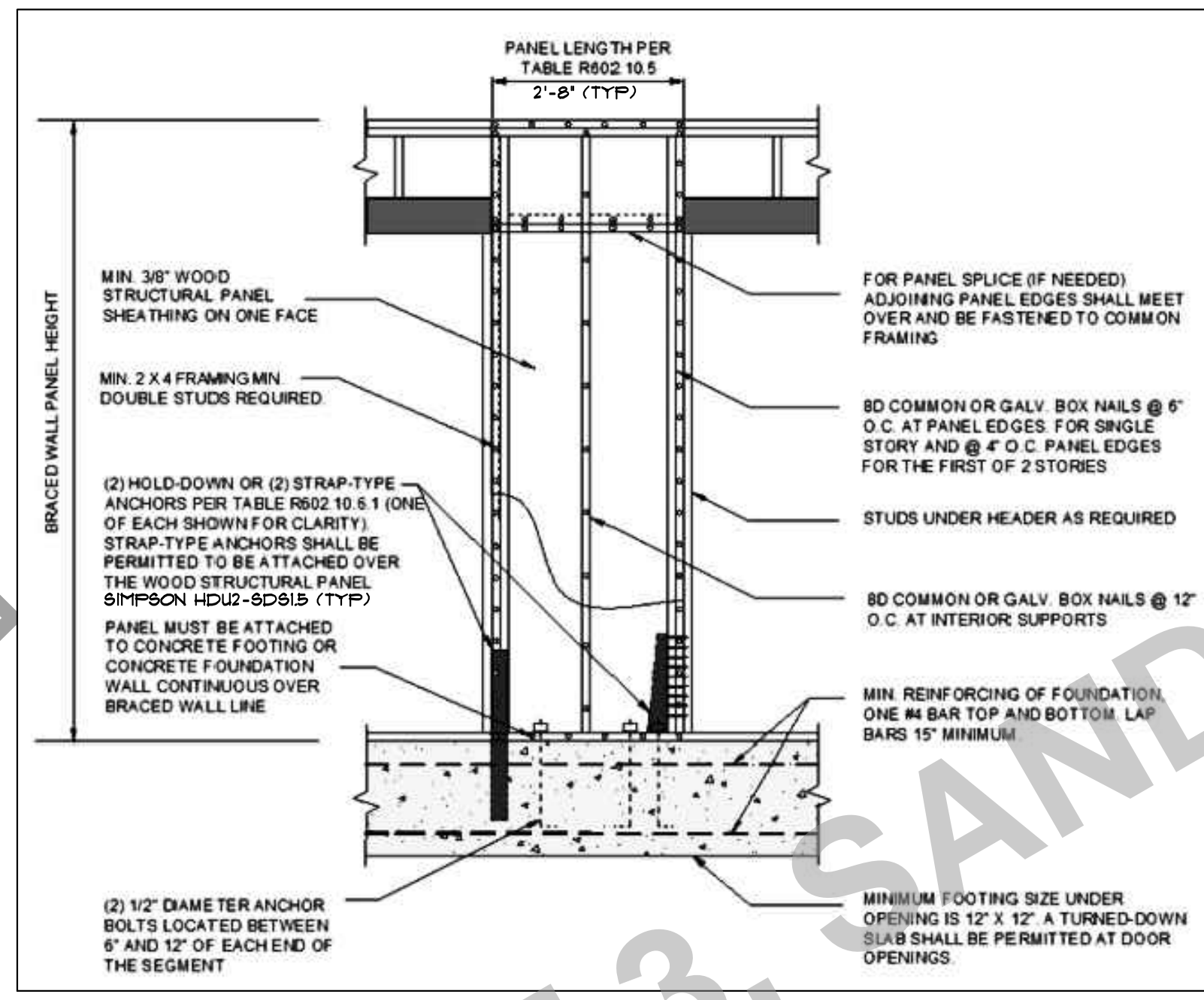
TABLE R602.3(3)  
REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES<sup>a, b, c</sup>

MINIMUM NAIL Size	PENETRATION (Inches)	MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (Inches)	MAXIMUM WALL STUD SPACING (Inches)	PANEL NAIL SPACING		ULTIMATE DESIGN WIND SPEED V <sub>ult</sub> (mph)		
					Edges (Inches o.c.)	Field (Inches o.c.)	Wind exposure category		
6d Common (2.0" x 0.113")	1.5	24/0	3/8"	16	6	12	140	115	110
8d Common (2.5" x 0.131")	1.75	24/16	7/16"	16	6	12	170	140	135
				24	6	12	140	115	110

- For SI: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.
- Panel strength axis parallel or perpendicular to supports. Three-ply plywood sheathing with studs spaced more than 16 inches on center shall be applied with panel strength axis perpendicular to supports.
  - Table is based on wind pressures acting toward and away from building surfaces in accordance with Section R301.2. Lateral bracing requirements shall be in accordance with Section R602.10.
  - Wood structural panels with span ratings of Wall-16 or Wall-24 shall be permitted as an alternate to panels with a 24/0 span rating. Plywood siding rated 16 o.c. or 24 o.c. shall be permitted as an alternate to panels with a 24/16 span rating. Wall-16 and Plywood siding 16 o.c. shall be used with studs spaced not more than 16 inches on center.

TABLE R702.3.5  
MINIMUM THICKNESS AND APPLICATION OF GYPSUM BOARD AND GYPSUM PANEL PRODUCTS

THICKNESS OF GYPSUM BOARD OR GYPSUM PANEL PRODUCTS (Inches)	APPLICATION	ORIENTATION OF GYPSUM BOARD OR GYPSUM PANEL PRODUCTS TO FRAMING	MAXIMUM SPACING OF FRAMING MEMBERS (Inches o.c.)		SIZE OF NAILS FOR APPLICATION TO WOOD FRAMING <sup>a</sup>	
			Nails <sup>a</sup>	Screws <sup>b</sup>		
3/8"	Ceiling <sup>d</sup>	Perpendicular	16	7	12	13 gage, 1 1/4" long, 1 1/4" head; 0.098" diameter, 1 1/4" long, annular-ringed; or 4d cooler nail, 0.080" diameter, 1 1/4" long, 7/32" head.
	Wall	Either direction	16	8	16	
1/2"	Ceiling <sup>d</sup>	Perpendicular	16	7	12	13 gage, 1 1/4" long, 1 1/4" head; 0.098" diameter, 1 1/4" long, annular-ringed; 5d cooler nail, 0.086" diameter, 1 1/4" long, 1 1/4" head; or gypsum board nail, 0.086" diameter, 1 1/4" long, 1 1/4" head.
	Wall	Either direction	24	7	12	
1/2"	Wall	Either direction	24	8	12	
	Wall	Either direction	16	8	16	



(b) INSIDE CORNER DETAIL  
DET SI C

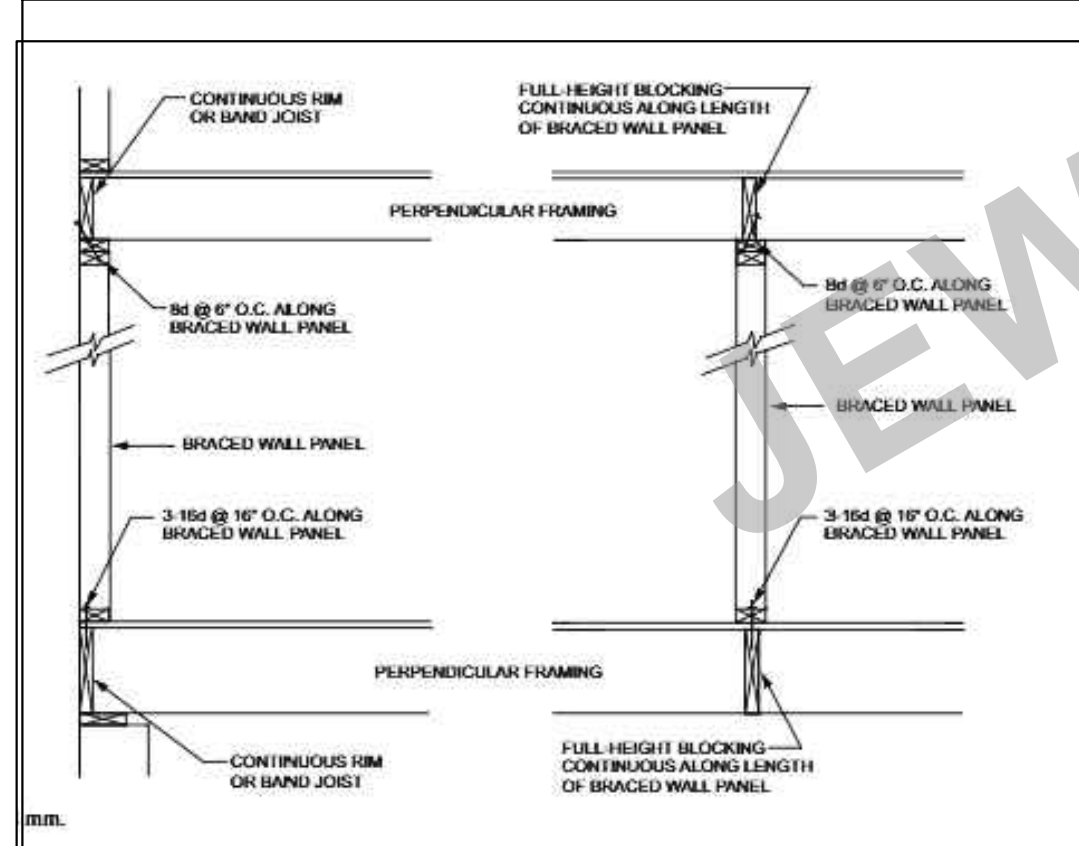


FIGURE R602.10.8(1)  
BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING

DET SI A

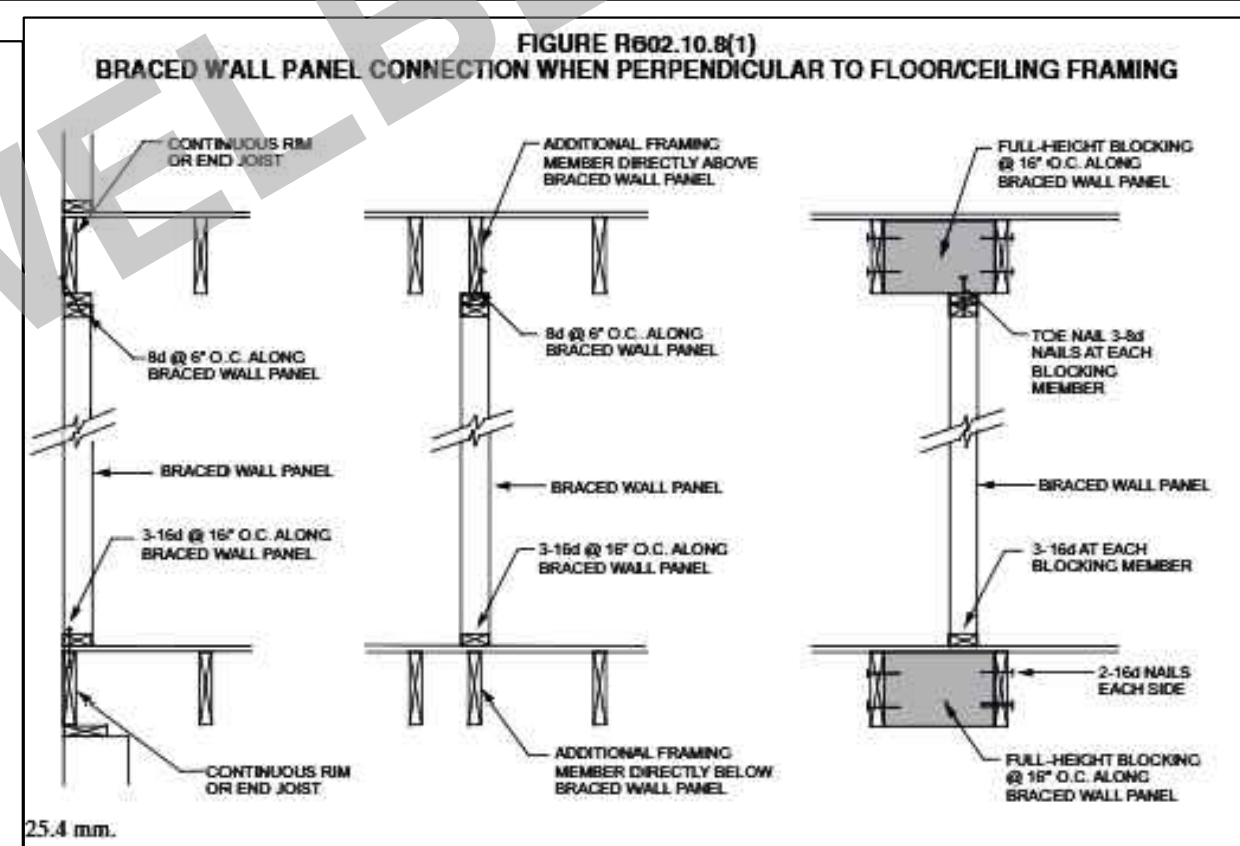
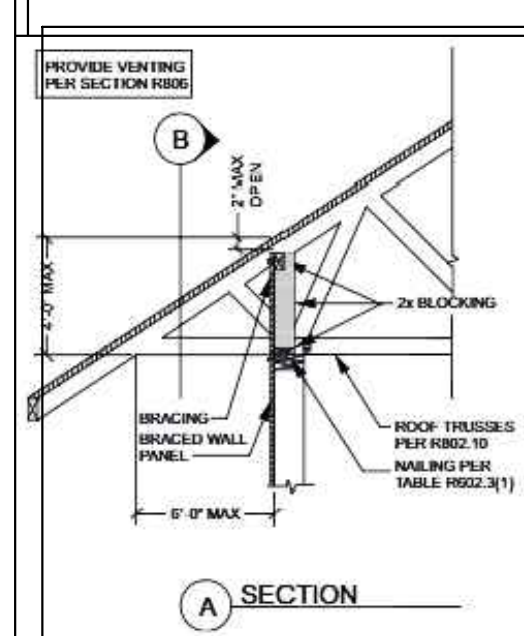


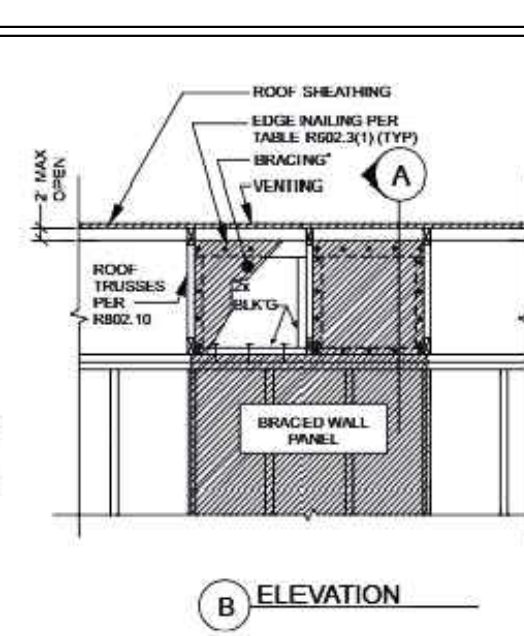
FIGURE R602.10.8(2)  
BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING

DET SI A

NOTE: CONNECT ALL BRACE WALLS TO FOUNDATION/FLOOR AND ROOF AS PER DET SI-A AS APPLICABLE TO THAT LOCATION



A SECTION



B ELEVATION

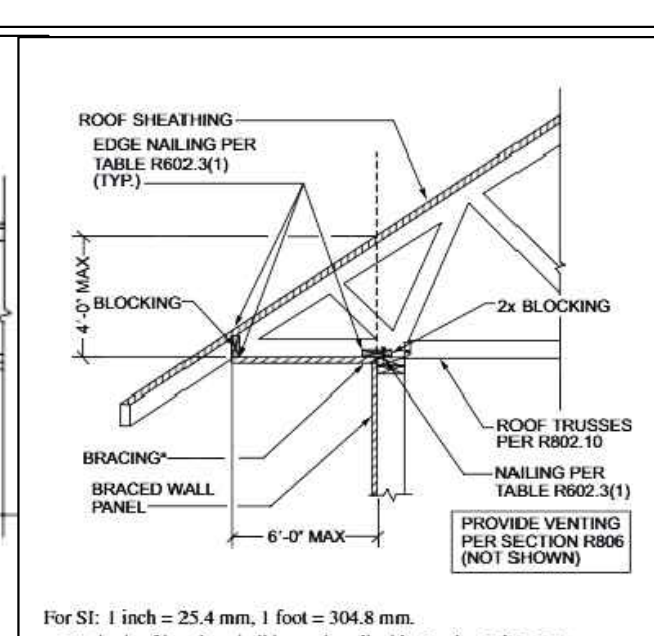
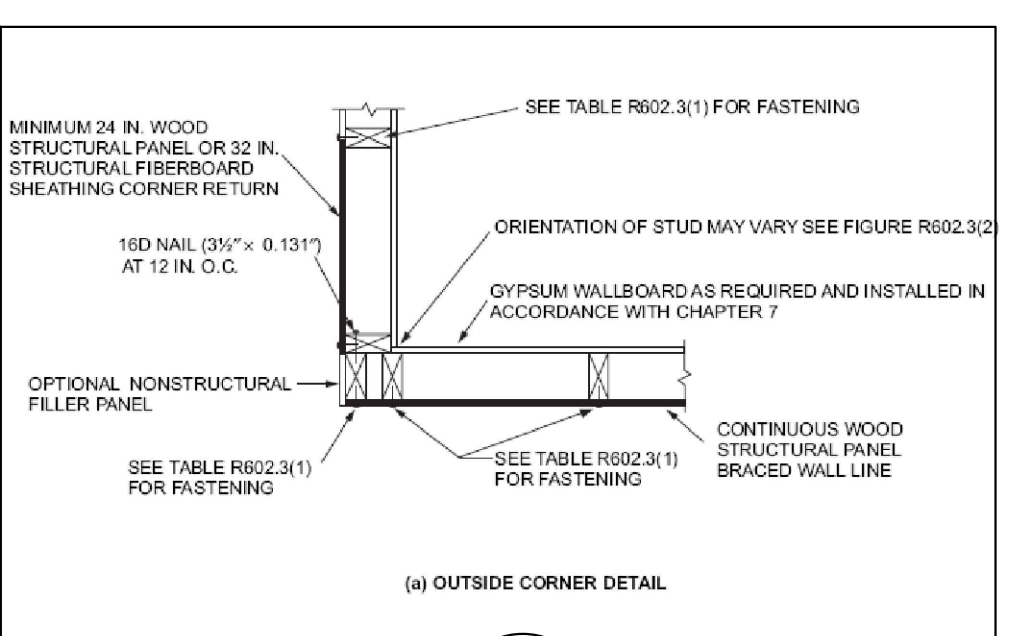


FIGURE R602.10.8.2(2)  
BRACED WALL PANEL CONNECTION OPTION TO PERPENDICULAR RAFTERS OR ROOF TRUSSES

DET SI B2

DET SI B1

OR



(a) OUTSIDE CORNER DETAIL

DET SI C  
OUTSIDE CORNER

PANEL NO: 11514 D  
DATE: 12-19-22  
SCALE: 1/4" = 1'-0"

THE FAIRVIEW D JBR RAZE LOT 3

CLIENT NAME: LOCATION: SHEET TITLE: SQUARE FEET:

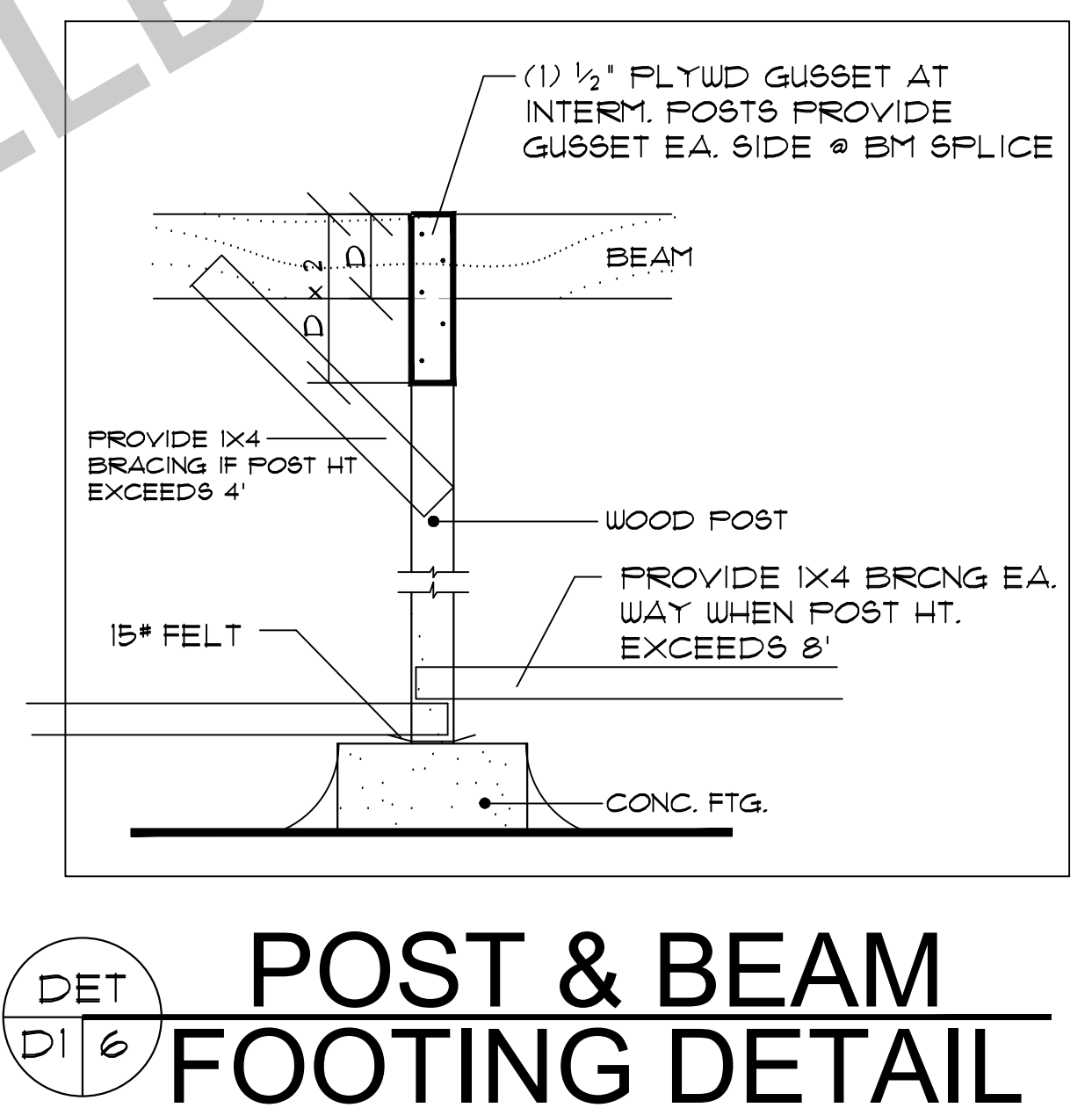
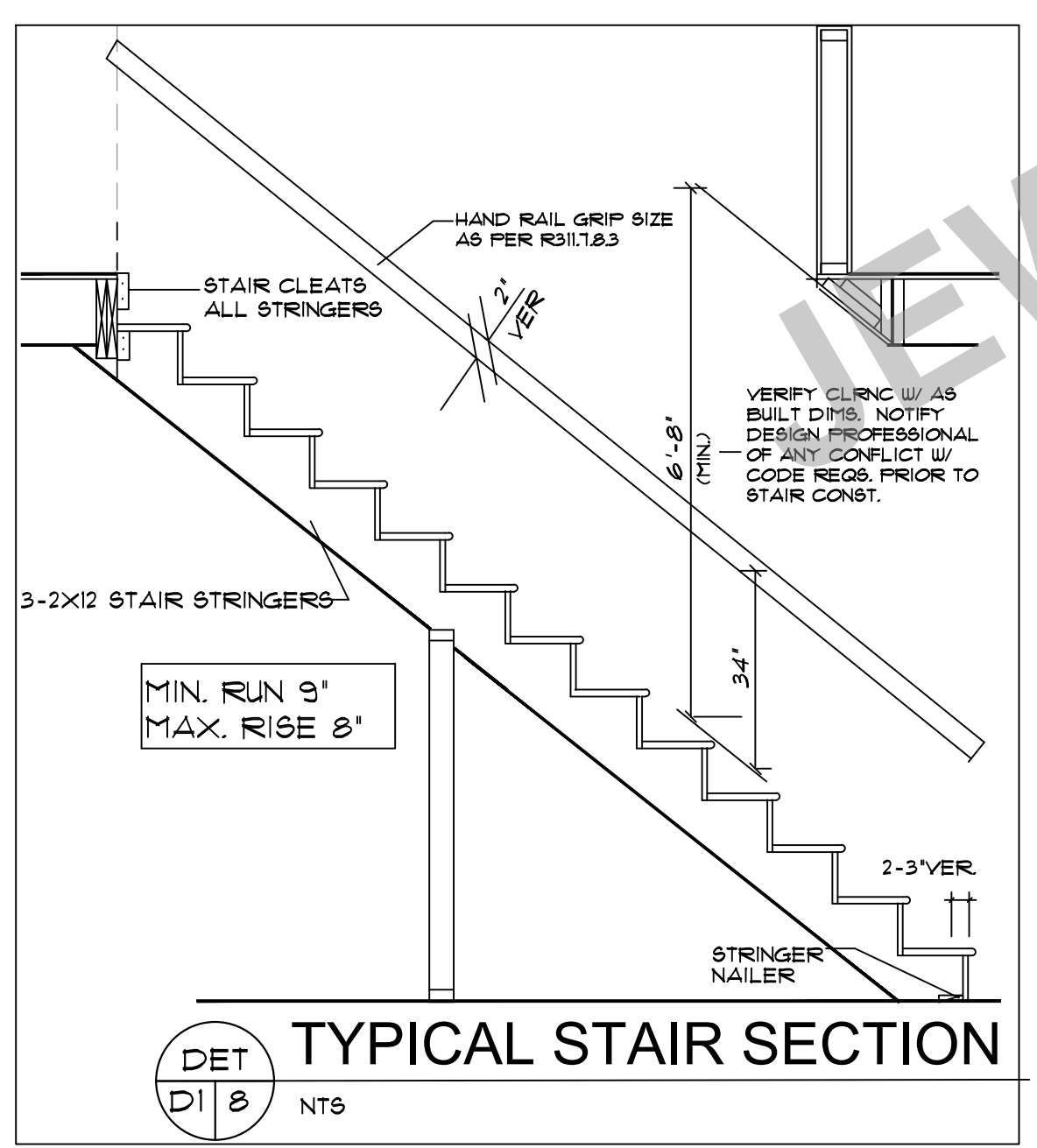
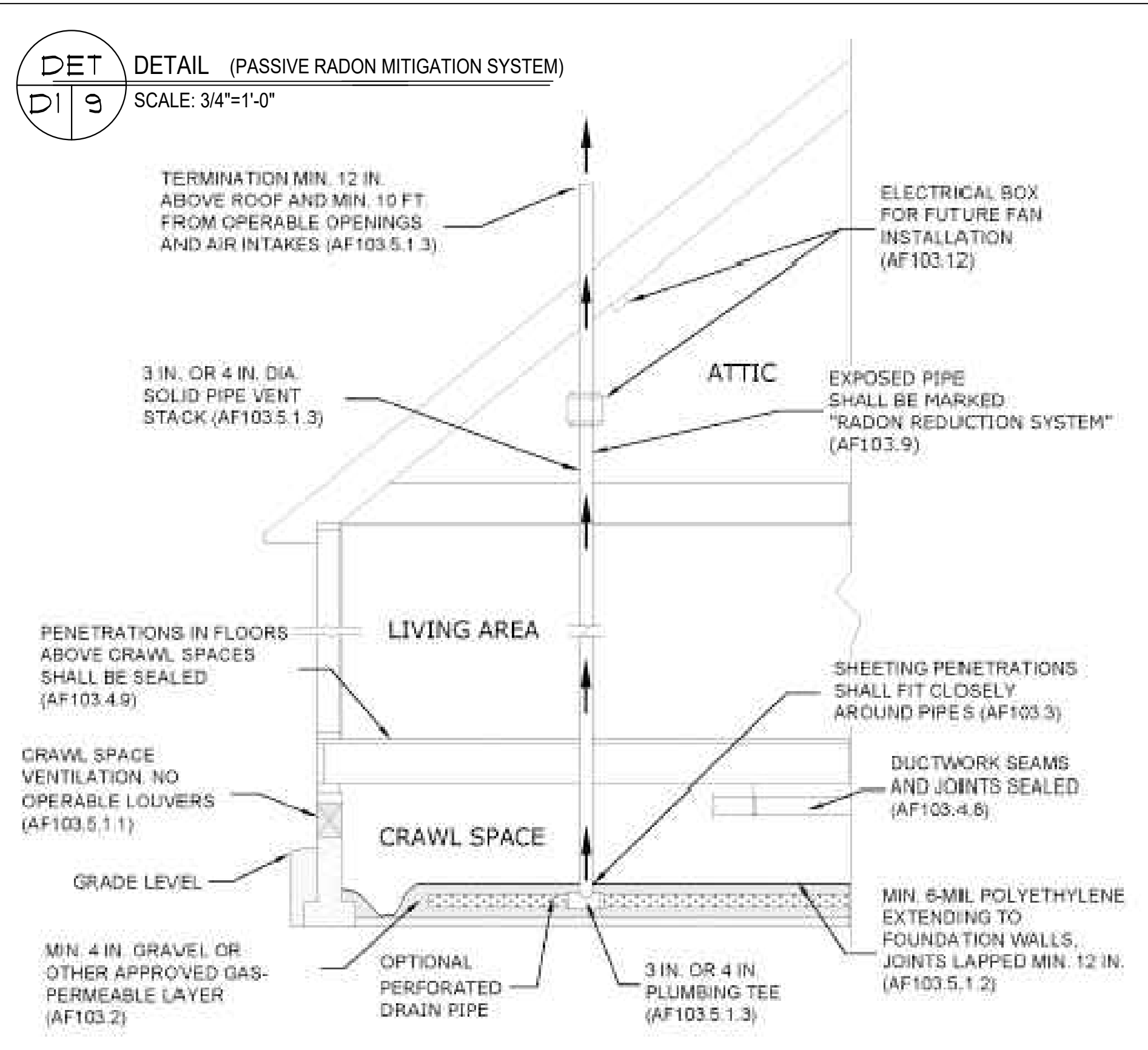
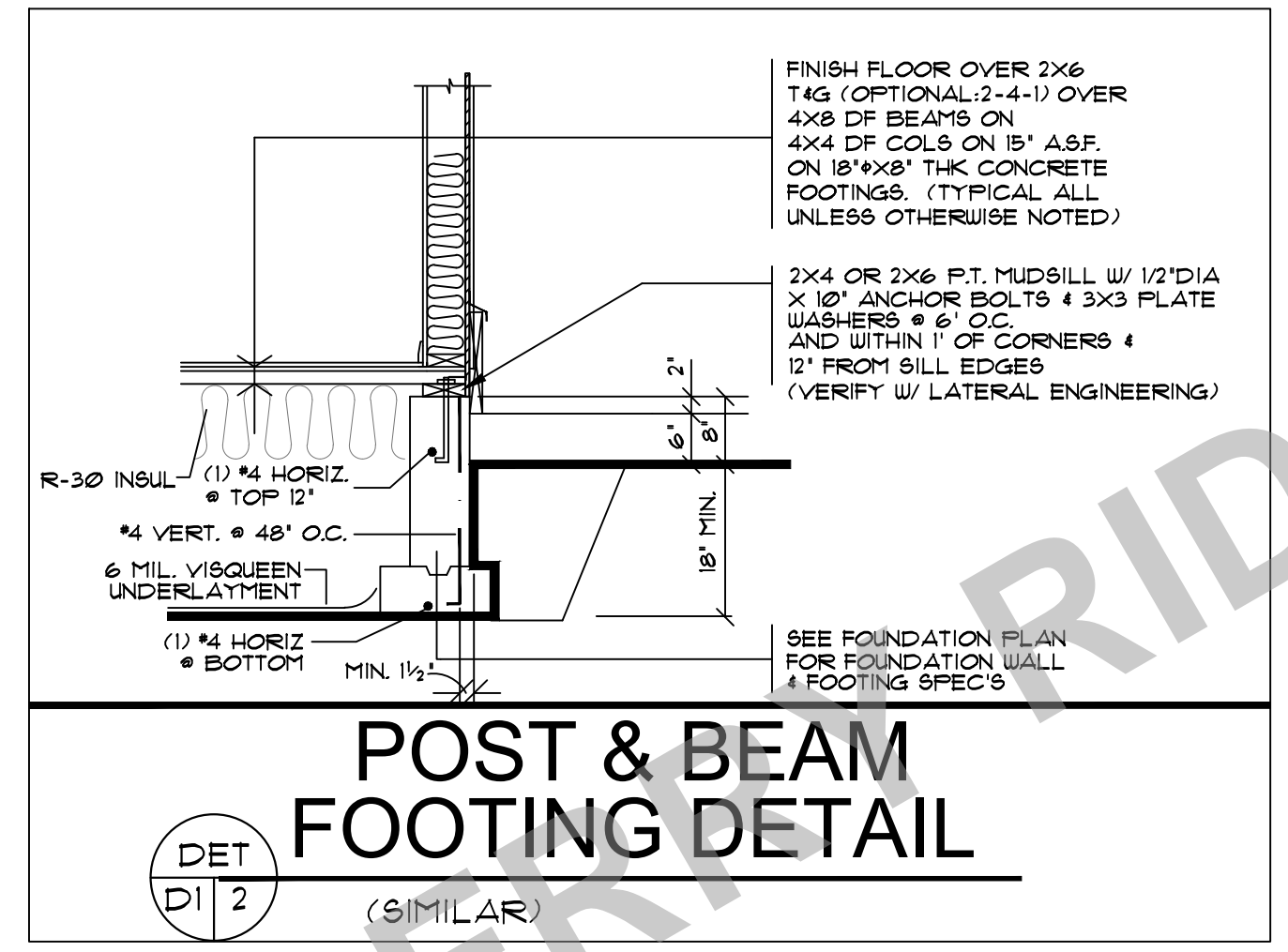
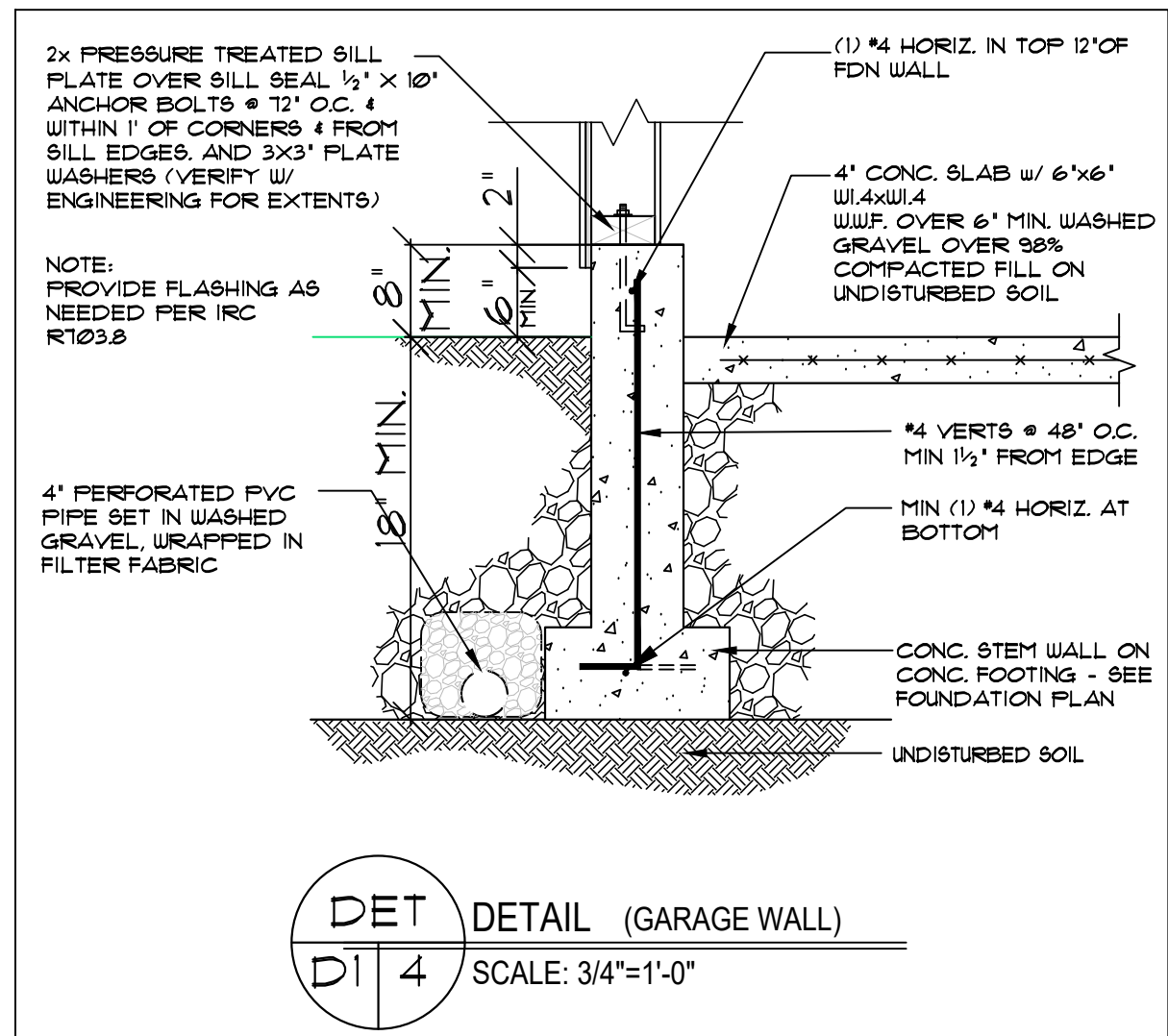
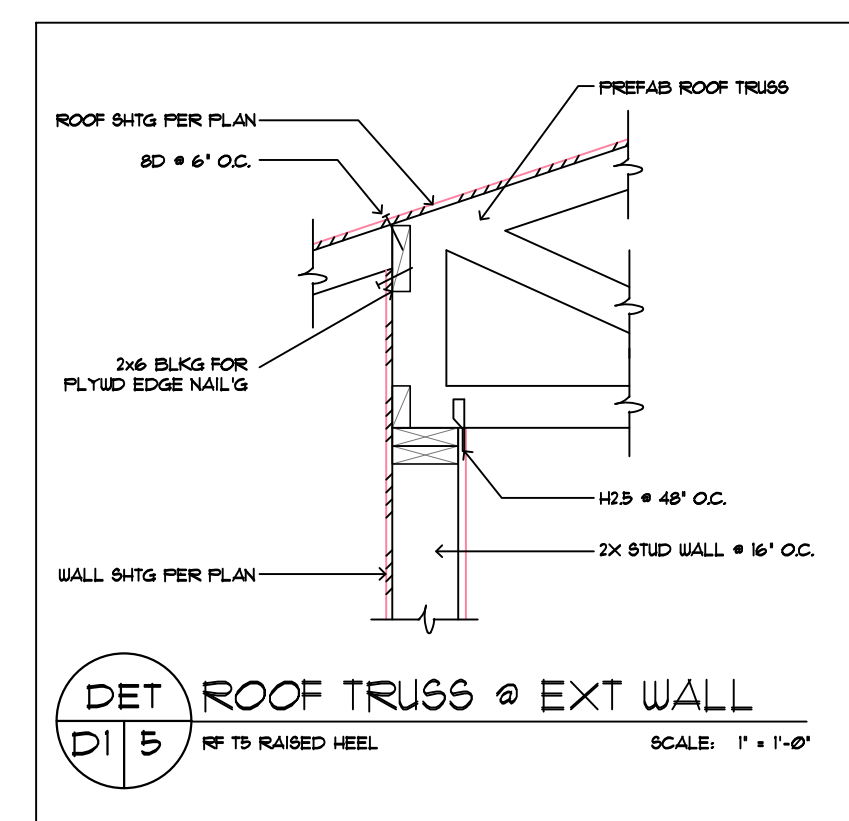
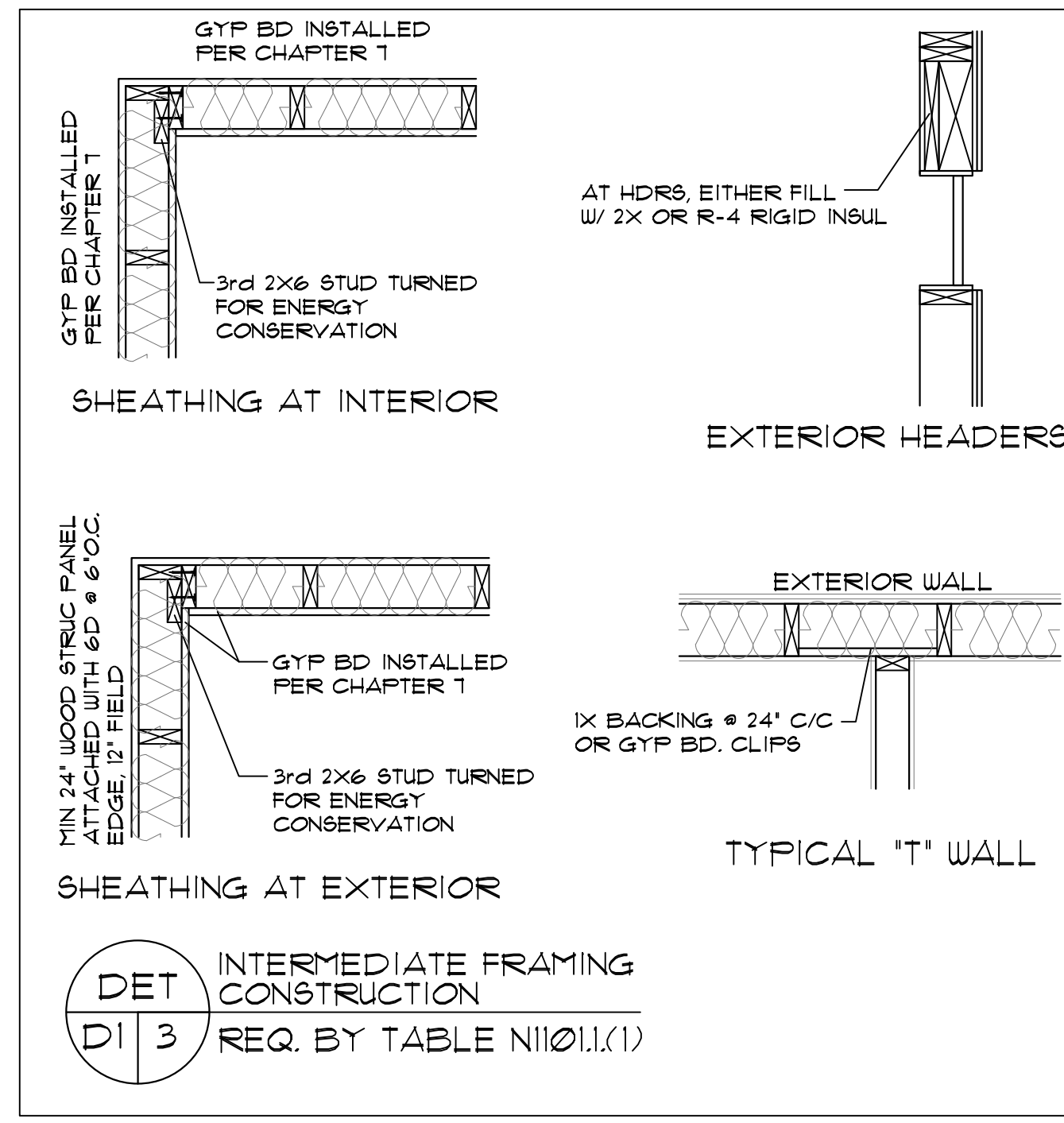
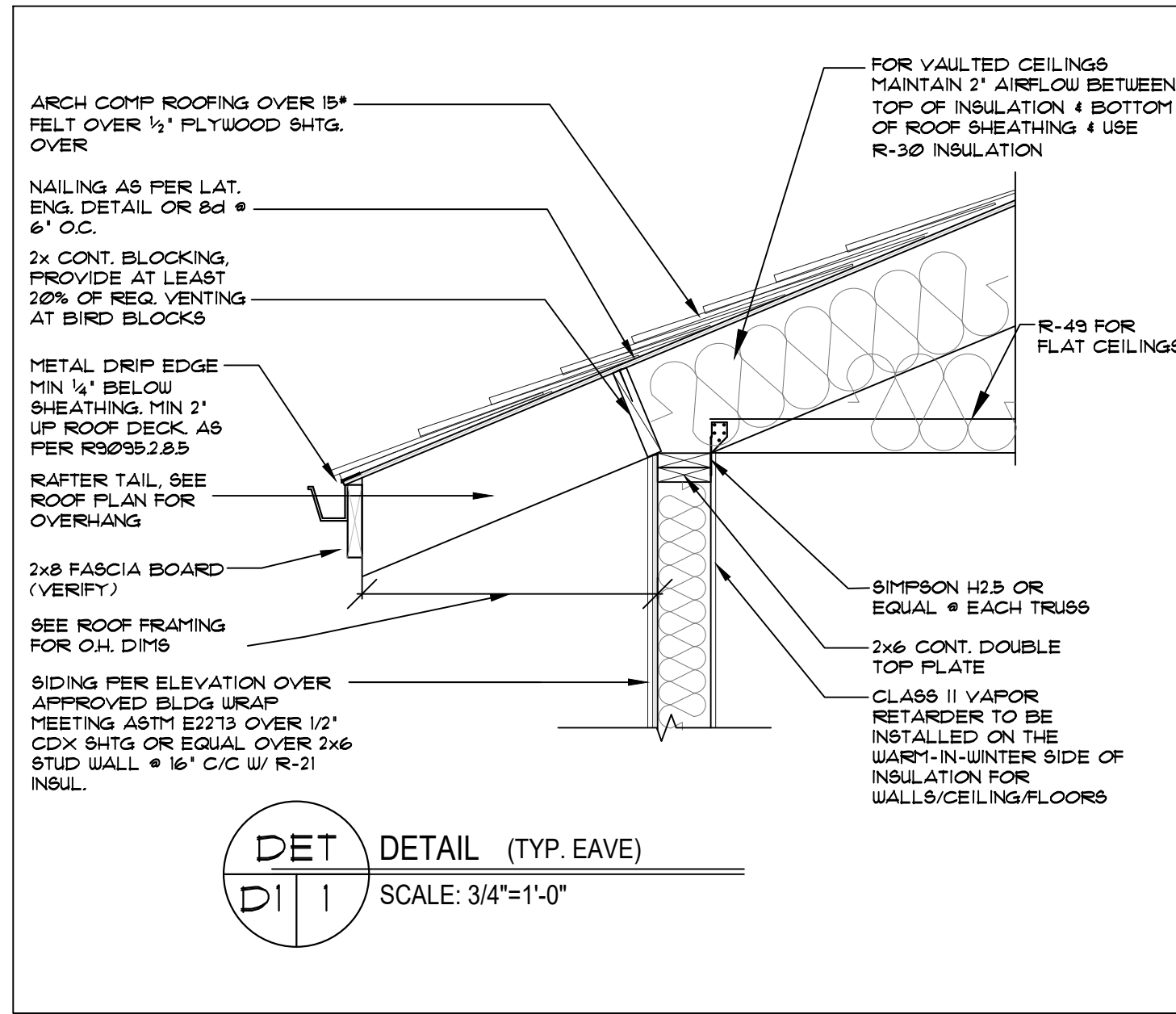
SHEAR DETAILS



CONSTRUCTION OF THIS SHEET IS THE SOLE RESPONSIBILITY OF THE DESIGNER. THE USER OF THIS SHEET SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USER OF THIS SHEET. THE USER OF THIS SHEET SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USER OF THIS SHEET.

SHEET NR:

S1



PURCH NO: 11514 D  
 DATE: 12-19-22  
 SCALE: 1/4" = 1'-0"

CLIENT NAME: THE FAIRVIEW D JBR RAZE LOT 3  
 LOCATION: THE FAIRVIEW D JBR RAZE LOT 3  
 SHEET TITLE: TYPICAL DETAILS  
 SQUARE FEET:

DESIGN PROVIDENCE, INC  
 1000 W. MAIN ST. SUITE 100  
 PROVIDENCE, RI 02902  
 PHONE & FAX: 401-709-0446 Email: Design@providenceinc.com

THESE PLANS ARE HEREBY LICENSED TO THE CONTRACTOR FOR THE USE IN THE CONSTRUCTION OF THE PROJECT. ANY REVISIONS TO THESE PLANS SHALL BE MADE BY THE ARCHITECT OR HIS DESIGN PROFESSIONAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND DETAILS IN THE PLANS FOR ACCURACY AND COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ADJACENT PROPERTIES.

SHEET NR: D1

