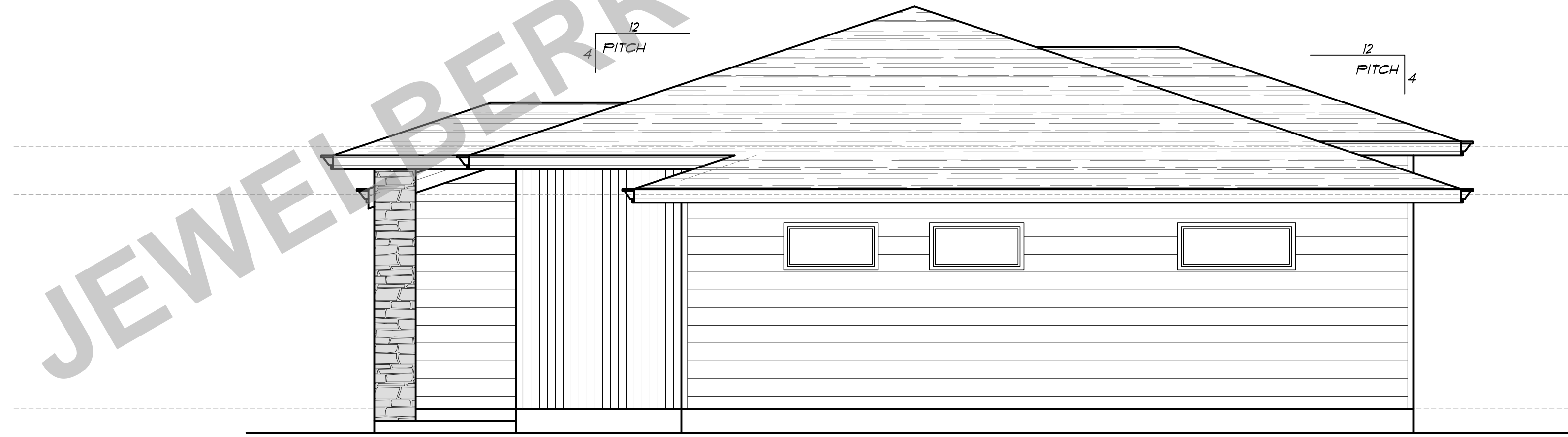




FRONT ELEVATION



RIGHT ELEVATION

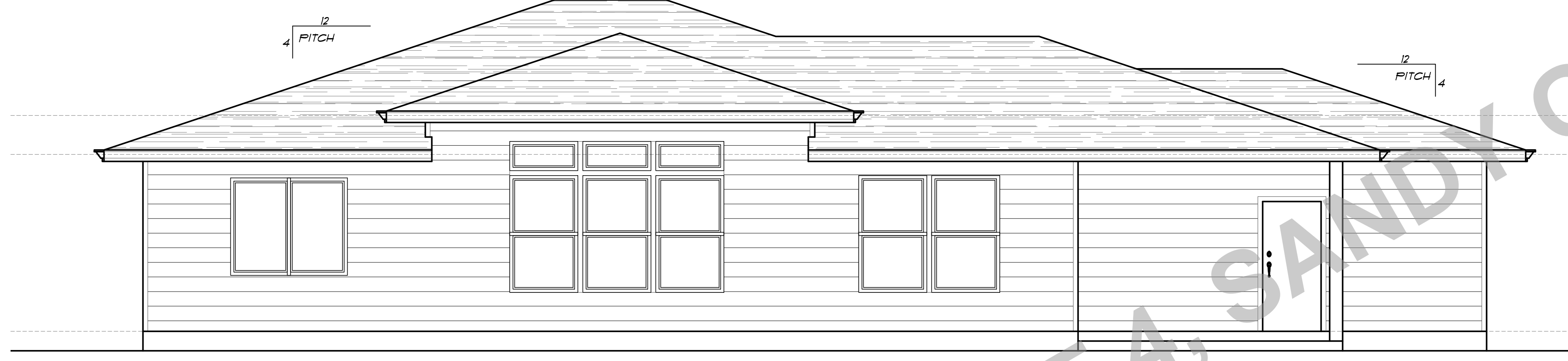
JEWEL BERRY RIDGE LOT 4

CLIENT NAME:	RAZE JBR LOT 4 CUSTOM
LOCATION:	
SHEET TITLE:	ELEVATIONS
SQUARE FEET:	

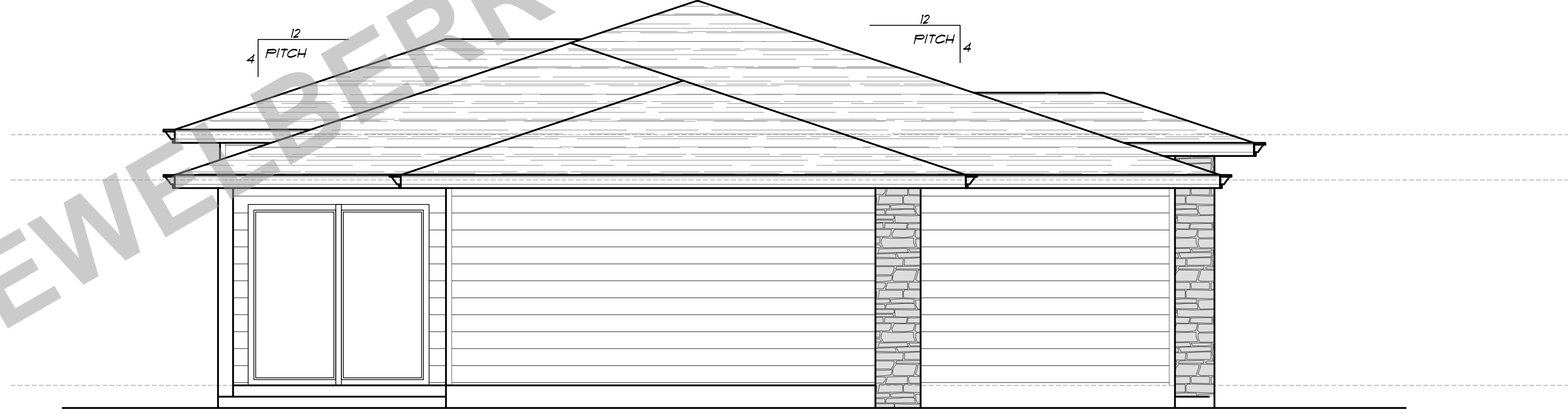
THESE PLANS HAVE BEEN LICENSED TO THE CUSTOMER FOR THE USE IN CONSTRUCTION OF THE PROJECT DESCRIBED HEREIN. ANY OTHER USE OF ANY PART OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS STRICTLY PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR DAMAGES OF ANY KIND, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THESE PLANS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL FEE RECEIVED FOR THE DESIGN SERVICES PROVIDED. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE CONSTRUCTION OF THE PROJECT OR TO THE PERFORMANCE OF THE PROJECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL FEE RECEIVED FOR THE DESIGN SERVICES PROVIDED. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE CONSTRUCTION OF THE PROJECT OR TO THE PERFORMANCE OF THE PROJECT.

SHEET NR:
1

PLANNING NO.:	12-20-22
DATE:	12-20-22
SCALE:	1/4" = 1'-0"



REAR ELEVATION



LEFT ELEVATION

PLAN NO:	12-20-22
DATE:	12-20-22
SCALE:	1/4" = 1'-0"

CLIENT NAME: RAZE JBR LOT 4 CUSTOM

LOCATION

SHEET TITLE: ELEVATIONS

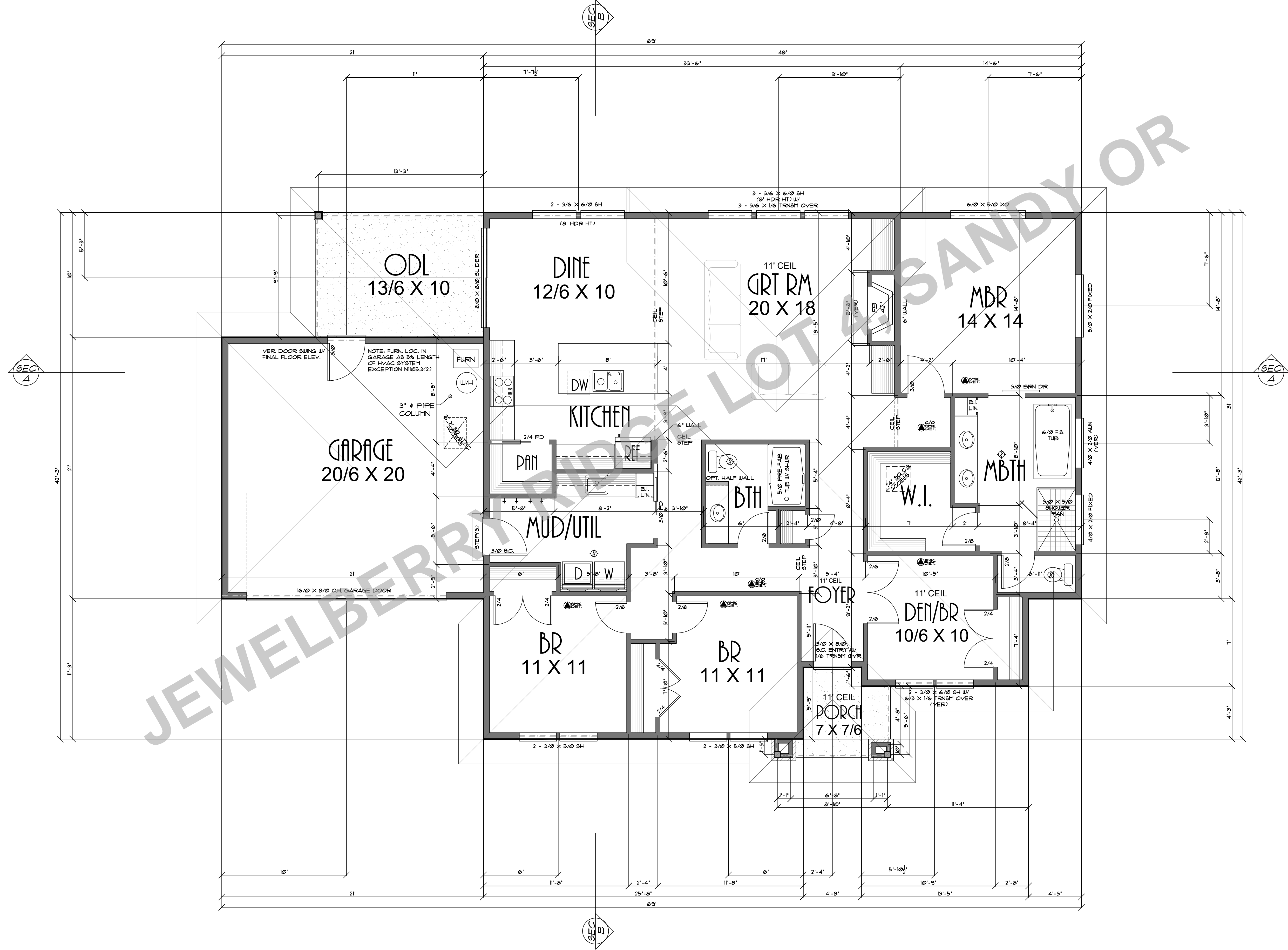
SQUARE FEET:



THESE PLANS HAVE BEEN LICENSED TO THE CUSTOMER FOR THE USE IN THE CONSTRUCTION OF THE PROJECT SHOWN HEREON. NO OTHER USE, REPRODUCTION, OR ALTERATION OF THESE PLANS IS PERMITTED WITHOUT THE WRITTEN CONSENT OF PROVIDENCE, INC. THE CUSTOMER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. PROVIDENCE, INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. THE CUSTOMER MUST CAREFULLY CHECK ALL DIMENSIONS & DETAILS IN THE PLANS FOR ACCURACY BEFORE CONSTRUCTION. PROVIDENCE, INC. IS NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS ARISING FROM THE USE OF THESE PLANS. PROVIDENCE, INC. IS NOT RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CUSTOMER DUE TO ANY CHANGES OR REVISIONS TO THESE PLANS. PROVIDENCE, INC. IS NOT RESPONSIBLE FOR ANY LIABILITY ARISING FROM THE USE OF THESE PLANS. PROVIDENCE, INC. IS NOT RESPONSIBLE FOR ANY INADEQUACIES IN THE PLANS OR FOR ANY DAMAGE TO PROPERTY OR PERSONS ARISING FROM THE USE OF THESE PLANS. PROVIDENCE, INC. IS NOT RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CUSTOMER DUE TO ANY CHANGES OR REVISIONS TO THESE PLANS. PROVIDENCE, INC. IS NOT RESPONSIBLE FOR ANY LIABILITY ARISING FROM THE USE OF THESE PLANS. PROVIDENCE, INC. IS NOT RESPONSIBLE FOR ANY INADEQUACIES IN THE PLANS OR FOR ANY DAMAGE TO PROPERTY OR PERSONS ARISING FROM THE USE OF THESE PLANS.

SHEET NR:

2



PLAN NO.	12-20-22
DATE	12-20-22
SCALE	1/4" = 1'-0"

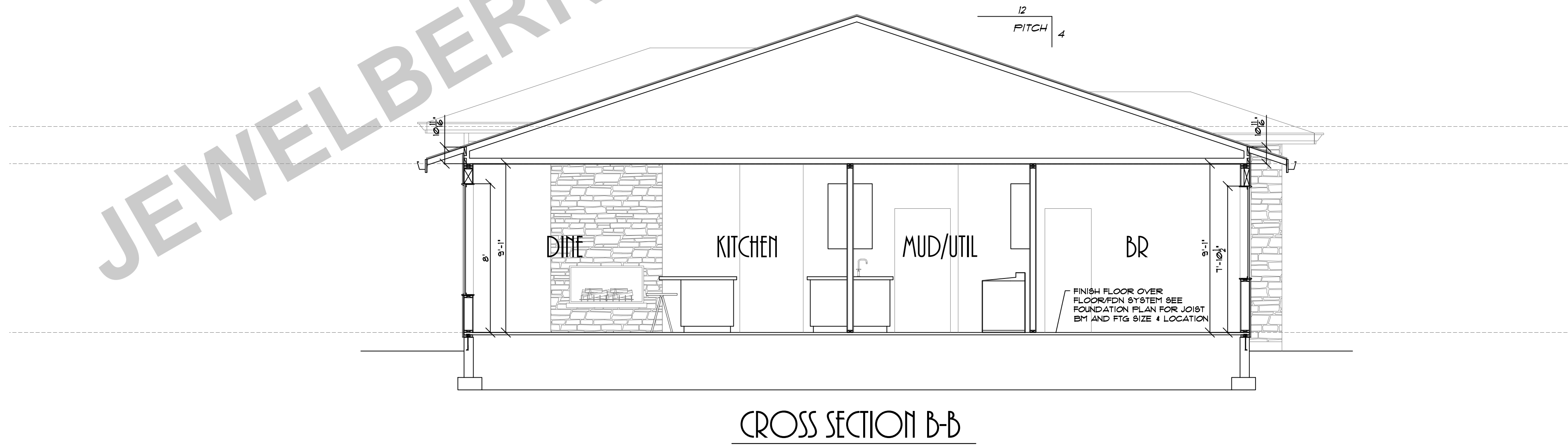
CLIENT NAME	RAZE JBR LOT 4 CUSTOM
LOCATION	
SHEET TITLE	MAIN FLOOR PLAN
SQUARE FEET	1896 SQUARE FEET



THESE PLANS HAVE BEEN LICENSED TO THE CUSTOMER FOR THE USE IN THE CONSTRUCTION OF THE PROJECT SHOWN HEREON. THE CUSTOMER'S USE OF ANY PART OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS OR FROM ANY OTHER PRODUCTS OR MATERIALS USED IN CONNECTION WITH THE PROJECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN OF THE PROJECT AND DOES NOT INCLUDE THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN OF THE PROJECT AND DOES NOT INCLUDE THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN OF THE PROJECT AND DOES NOT INCLUDE THE CONSTRUCTION OF THE PROJECT.



CROSS SECTION A-A



CROSS SECTION B-B

JEWELBERRY RIDGE LOT 4, SANDY, OR

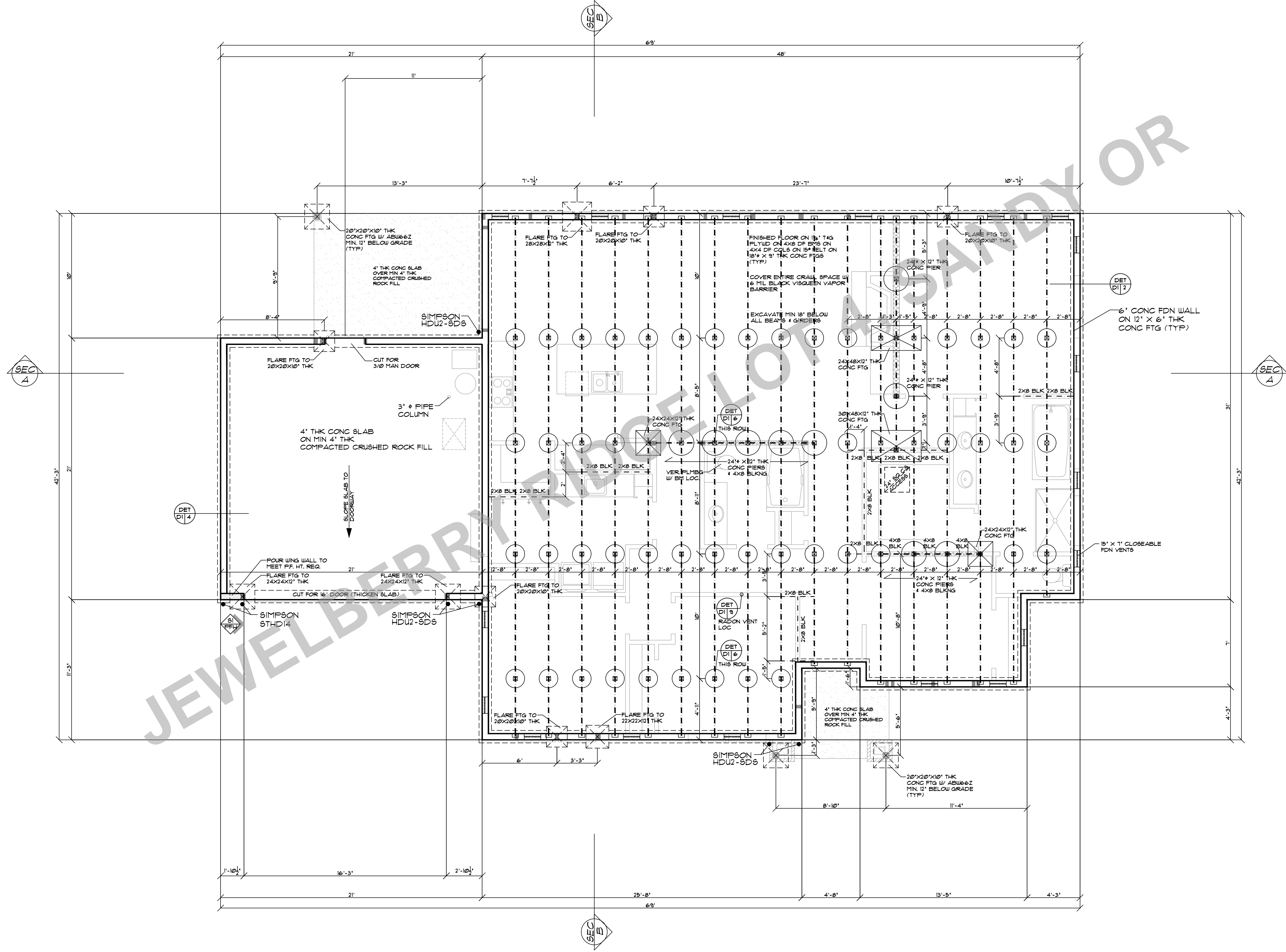
PLAN NO:	12-20-22
DATE:	12-20-22
SCALE:	1/4" = 1'-0"

CLIENT NAME:	RAZE JBR LOT 4 CUSTOM
LOCATION:	
SHEET TITLE:	CROSS SECTIONS
SQUARE FEET:	

DESIGN PROVIDENCE, INC.
 R.I.P.
 R.I.T.
 P.O. BOX 2042, S.E. SUNNYSIDE RD., CLACKAMAS, OR 97015
 Phone & Fax: 503.760.0446 Email: DesignProvidence@gmail.com
 Web: DesignProvidence.com

THESE PLANS HAVE BEEN LICENSED TO THE CUSTOMER FOR THE USE IN THE STATE OF OREGON. THE CUSTOMER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CUSTOMER IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT HAS CONDUCTED A VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED AND HAS FOUND IT TO BE REASONABLY ACCURATE. THE ARCHITECT HAS NOT CONDUCTED A SURVEY OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY SURVEYING ERRORS OR DISCREPANCIES. THE ARCHITECT HAS NOT CONDUCTED A GEOTECHNICAL ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY GEOTECHNICAL ISSUES. THE ARCHITECT HAS NOT CONDUCTED A STRUCTURAL ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY STRUCTURAL ISSUES. THE ARCHITECT HAS NOT CONDUCTED A MECHANICAL, ELECTRICAL, OR PLUMBING ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY MECHANICAL, ELECTRICAL, OR PLUMBING ISSUES. THE ARCHITECT HAS NOT CONDUCTED A FIRE SAFETY ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY FIRE SAFETY ISSUES. THE ARCHITECT HAS NOT CONDUCTED A SOUND ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY SOUND ISSUES. THE ARCHITECT HAS NOT CONDUCTED A VIBRATION ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY VIBRATION ISSUES. THE ARCHITECT HAS NOT CONDUCTED A LIGHTING ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY LIGHTING ISSUES. THE ARCHITECT HAS NOT CONDUCTED A HAZARDOUS MATERIAL ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY HAZARDOUS MATERIAL ISSUES. THE ARCHITECT HAS NOT CONDUCTED A RADON ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY RADON ISSUES. THE ARCHITECT HAS NOT CONDUCTED A MOLD ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY MOLD ISSUES. THE ARCHITECT HAS NOT CONDUCTED A LEAD ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY LEAD ISSUES. THE ARCHITECT HAS NOT CONDUCTED A PCB ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY PCB ISSUES. THE ARCHITECT HAS NOT CONDUCTED A PCP ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY PCP ISSUES. THE ARCHITECT HAS NOT CONDUCTED A PCE ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY PCE ISSUES. THE ARCHITECT HAS NOT CONDUCTED A PDB ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY PDB ISSUES. THE ARCHITECT HAS NOT CONDUCTED A PDE ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY PDE ISSUES. THE ARCHITECT HAS NOT CONDUCTED A PDI ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY PDI ISSUES. THE ARCHITECT HAS NOT CONDUCTED A PDI ANALYSIS OF THE PROPERTY AND HAS NOT BEEN ADVISED OF ANY PDI ISSUES.

SHEET NR.
4



CLIENT NAME: RAZE JBR LOT 4 CUSTOM

LOCATION

PLAN NO.

12-20-22

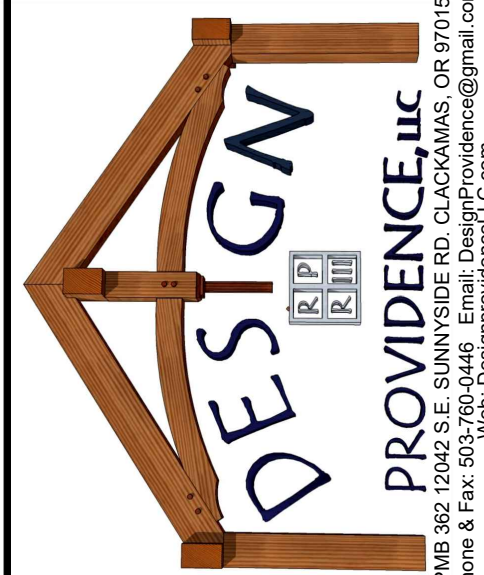
DATE

SCALE: 1/4" = 1'-0"

FOUNDATION PLAN

SHEET TITLE:

SQUARE FEET:



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SHEET NR:

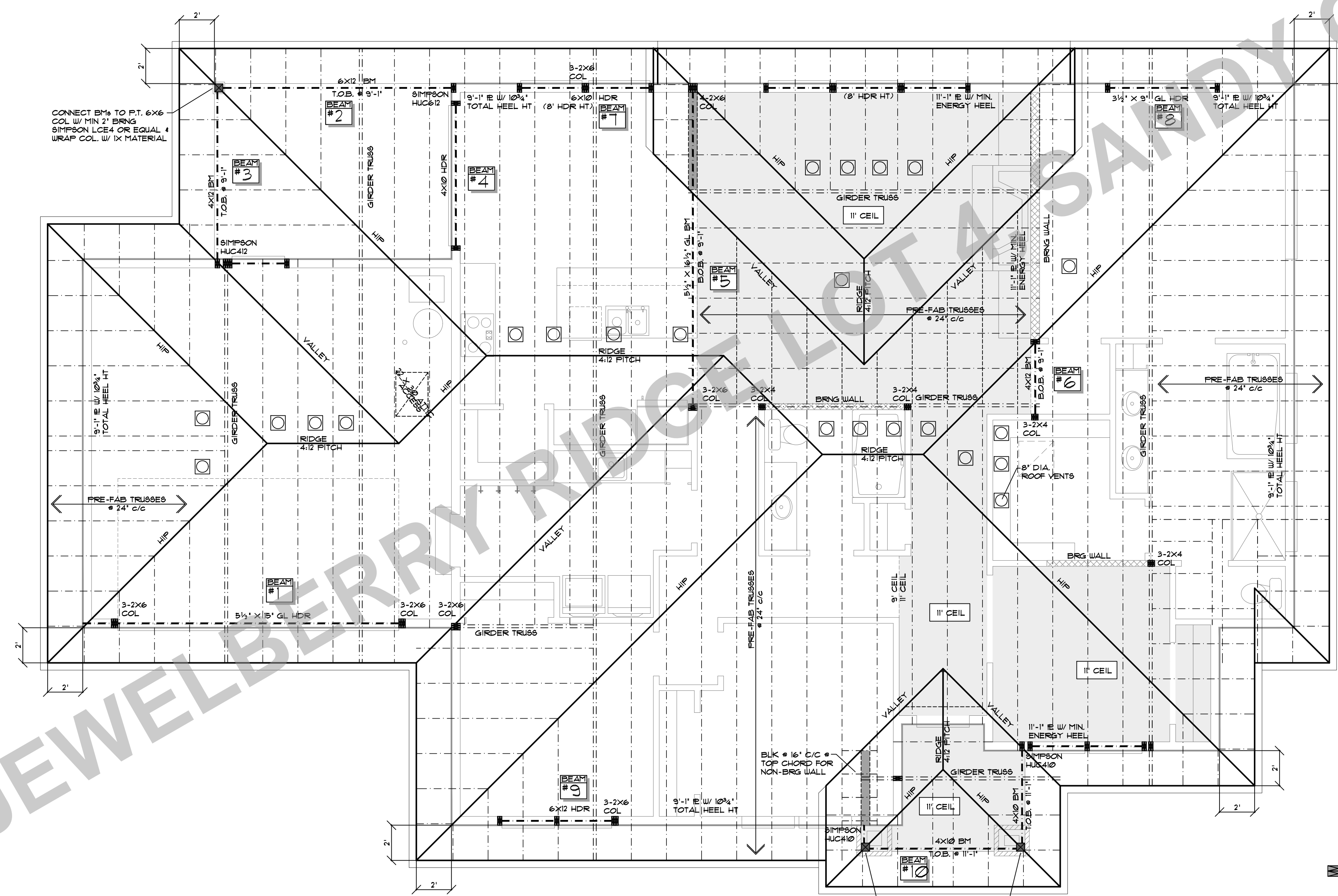
5

SEC A

SEC B

SEC A

SEC B



CONNECT BM₁ TO PT. 6X6 COL W/ MIN 2" BRNG SIMPSON LCE4 OR EQUAL & WRAP COL. W/ 1X MATERIAL

CONNECT BM₁₀ TO PT. 6X6 COL W/ MIN 2" BRNG SIMPSON LCE4 OR EQUAL & WRAP COL. W/ 1X MATERIAL

NOTE: INSTALLATION OF DUCTS
 ALL NEW DUCT SYSTEMS AND AIR HANDLING EQUIPMENT AND APPLIANCES SHALL BE LOCATED FULLY WITHIN THE BUILDING THERMAL ENVELOPE.

EXCEPTION:
 1. VENTILATION INTAKE DUCTWORK AND EXHAUST DUCTWORK UP TO 5 PERCENT OF THE LENGTH OF AN HVAC SYSTEM DUCTWORK SHALL BE PERMITTED TO BE LOCATED OUTSIDE OF THE THERMAL ENVELOPE.
 2. DUCTS DEEPLY BURIED IN INSULATION IN ACCORDANCE ALL OF THE FOLLOWING:
 31 INSULATION SHALL BE INSTALLED TO FILL GAPS AND VOIDS BETWEEN THE DUCT AND THE CEILING, AND A MINIMUM OF R-19 INSULATION SHALL BE INSTALLED ABOVE THE DUCT BETWEEN THE DUCT AND UNCONDITIONED ATTIC.
 32 INSULATION DEPTH MARKER FLAGS SHALL BE INSTALLED ON THE DUCTS EVERY 10 FT OR AS APPROVED BY THE BUILDING OFFICIAL.

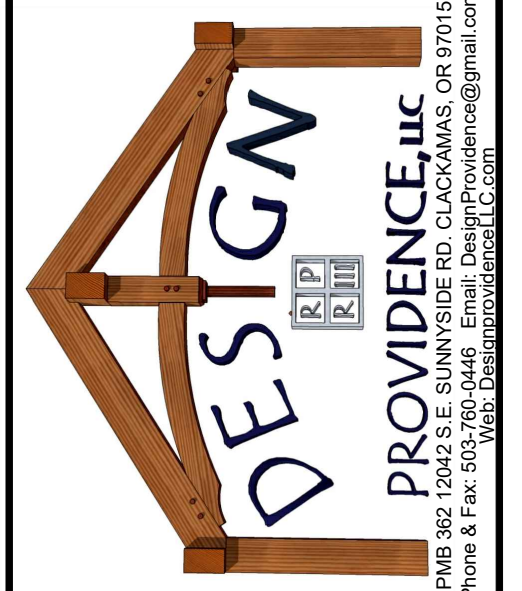
NOTE:
 PROVIDE ADEQUATE VENTING TO MEET R2062 MINIMUM VENT AREA, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE

2522 SF / 300 = 1210 SQ. IN. TOTAL VENTING
 PROVIDE MIN. 600 SQ. IN. AT BIRD BLOCK VENTING
 PROVIDE MIN. 600 SQ. IN. VENTING WITHIN 3' OF ROOF RIDGE

NOTE: MIN BEARING POST TO (2)2X TO MATCH WALL UNLESS NOTED OTHERWISE

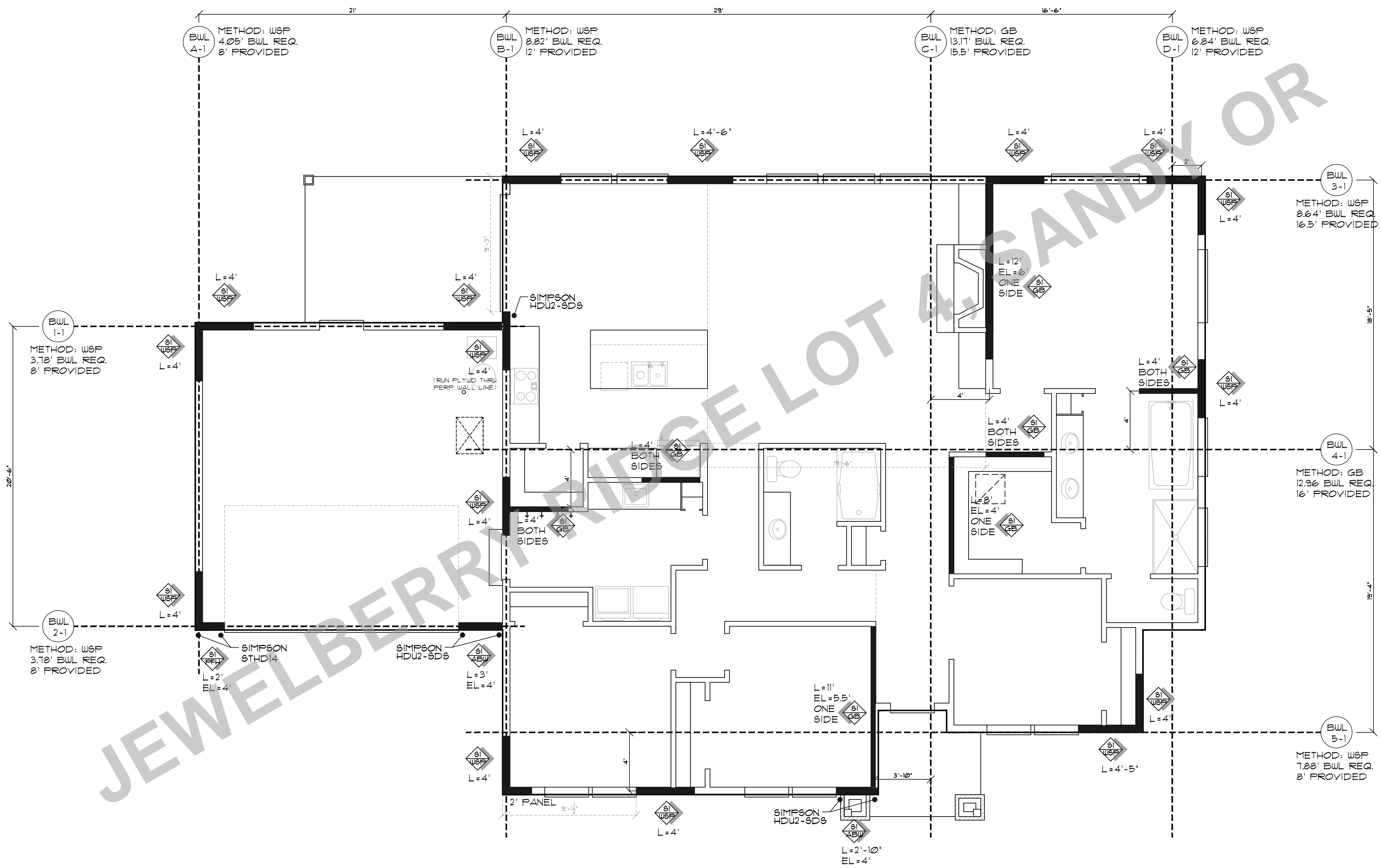
PRINT NO: 12-20-22
 DATE: 12-20-22
 SCALE: 1/4" = 1'-0"

CLIENT NAME: RAZE JBR LOT 4 CUSTOM
 LOCATION:
 SHEET TITLE: ROOF FRAMING PLAN
 SQUARE FEET:



PROVIDENCE R.P. DESIGN LLC
 1000 W. 10TH AVE. SUITE 100
 DENVER, CO 80202
 PHONE: 303.733.0000
 FAX: 303.733.0001
 WWW.PROVIDENCEDENVER.COM

SHEET NR: 6



PLANT NO: 12-20-22
 DATE: 12-20-22
 SCALE: 1/4" = 1'-0"

RAZE JBR LOT 4 CUSTOM

CLIENT NAME:

LOCATION:

SHEET TITLE:

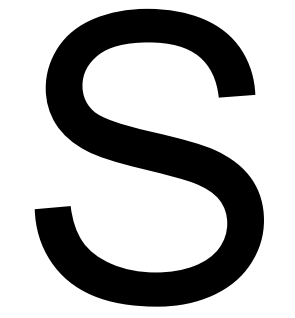
SQUARE FEET:

PRESCRIPTIVE WALL BRACING



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SHEET NR:



S1
WSP

WSP Wood structural panel (See Section R604)	$\frac{3}{8}$ "		Exterior sheathing per Table R602.3(3) Interior sheathing per Table R602.3(1) or R602.3(2)	6" edges 12" field Varies by fastener
GB Gypsum board	$\frac{1}{2}$ "		Nails or screws per Table R602.3(1) for exterior locations Nails or screws per Table R702.3.5 for interior locations	For all braced wall panel locations: 7" edges (including top and bottom plates) 7" field

S1
GE

TABLE R602.3(3)
REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES^{a, b, c}

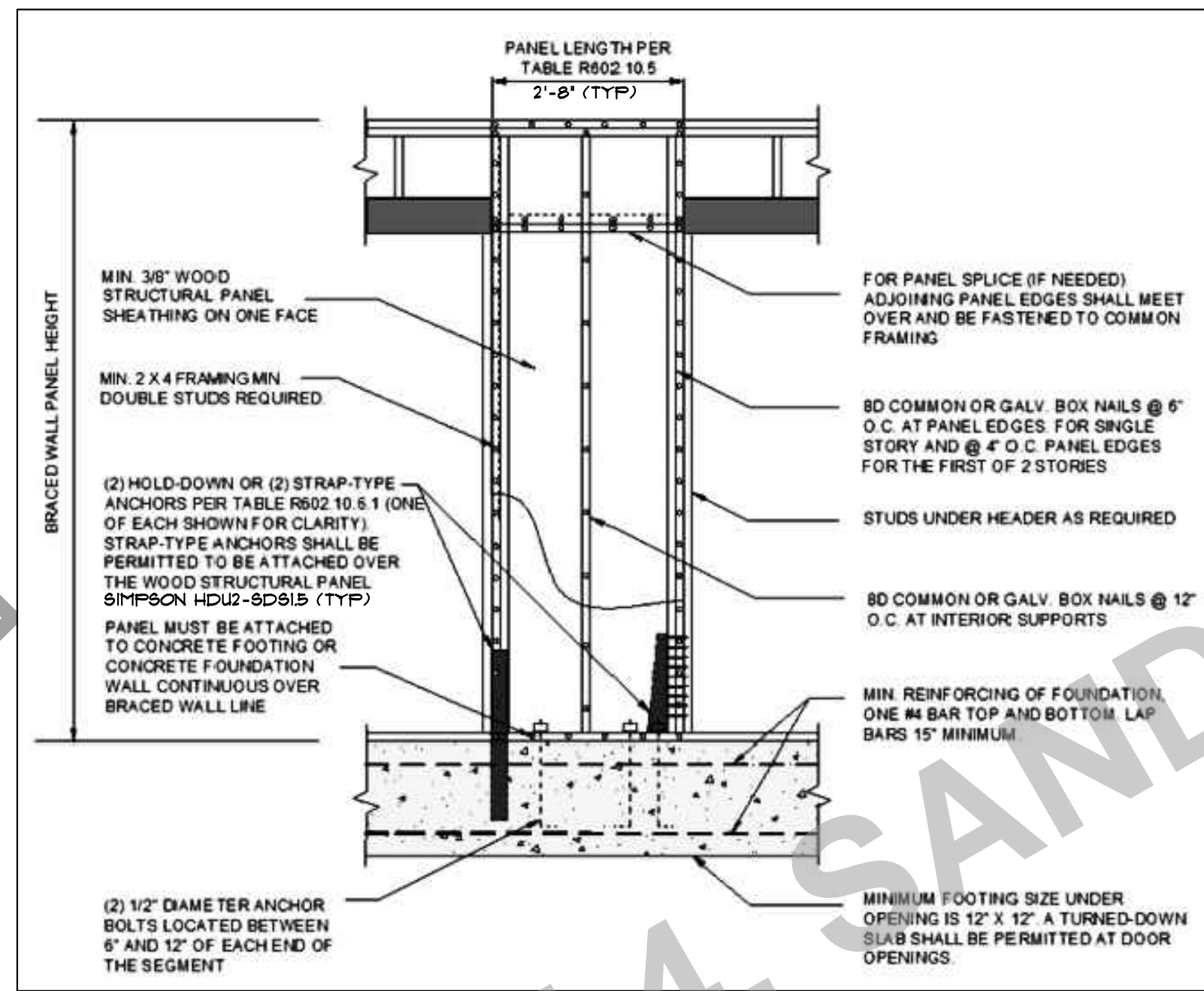
MINIMUM NAIL Size	PENETRATION (Inches)	MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (Inches)	MAXIMUM WALL STUD SPACING (Inches)	PANEL NAIL SPACING		ULTIMATE DESIGN WIND SPEED V _{ult} (mph)		
					Edges (Inches o.c.)	Field (Inches o.c.)	Wind exposure category		
6d Common (2.0" x 0.113")	1.5	24/0	$\frac{3}{8}$	16	6	12	B	C	D
8d Common (2.5" x 0.131")	1.75	24/16	$\frac{7}{16}$	16	6	12	170	140	135
				24	6	12	140	115	110

For SI: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.
 a. Panel strength axis parallel or perpendicular to supports. Three-ply plywood sheathing with studs spaced more than 16 inches on center shall be applied with panel strength axis perpendicular to supports.
 b. Table is based on wind pressures acting toward and away from building surfaces in accordance with Section R301.2. Lateral bracing requirements shall be in accordance with Section R602.10.
 c. Wood structural panels with span ratings of Wall-16 or Wall-24 shall be permitted as an alternate to panels with a 24/0 span rating. Plywood siding rated 16 o.c. or 24 o.c. shall be permitted as an alternate to panels with a 24/16 span rating. Wall-16 and Plywood siding 16 o.c. shall be used with studs spaced not more than 16 inches on center.

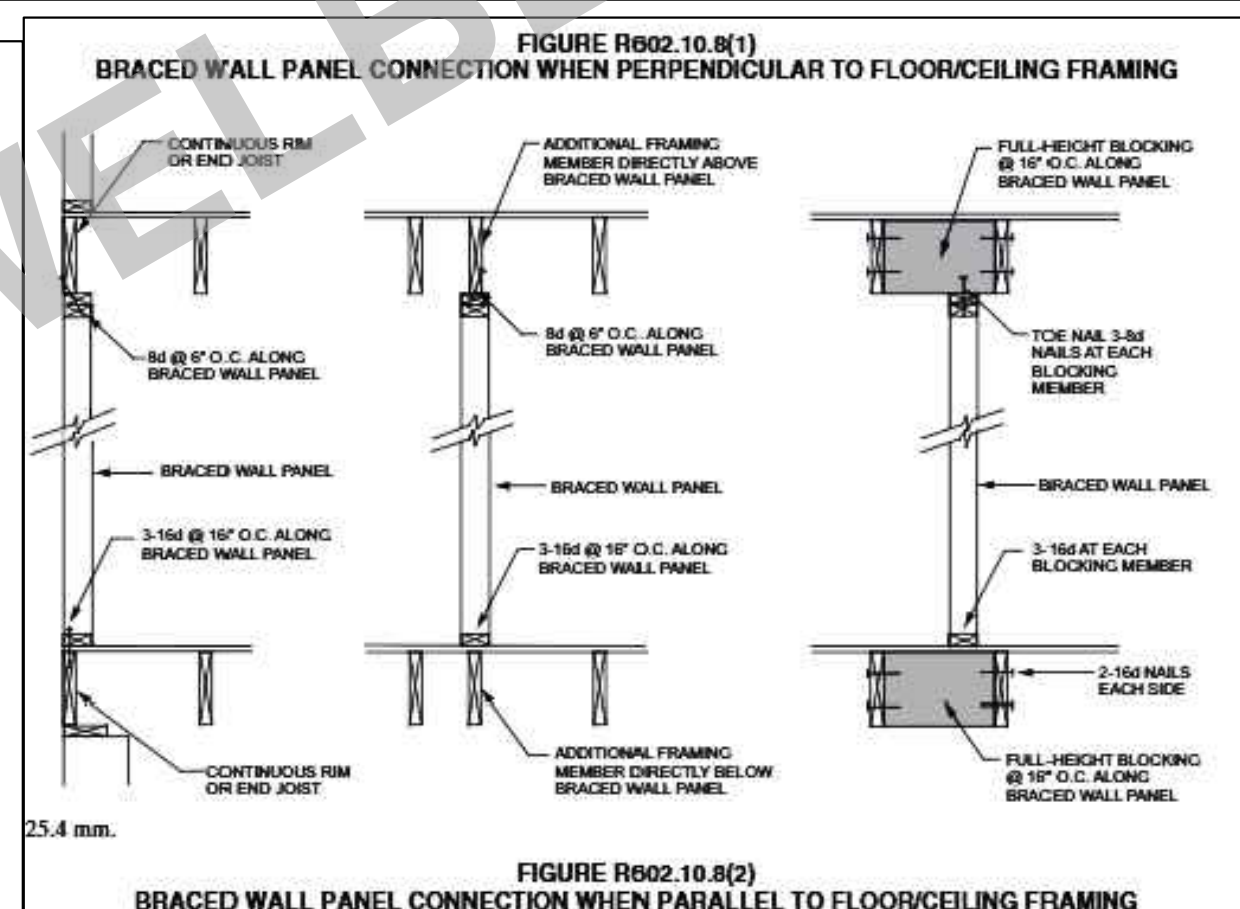
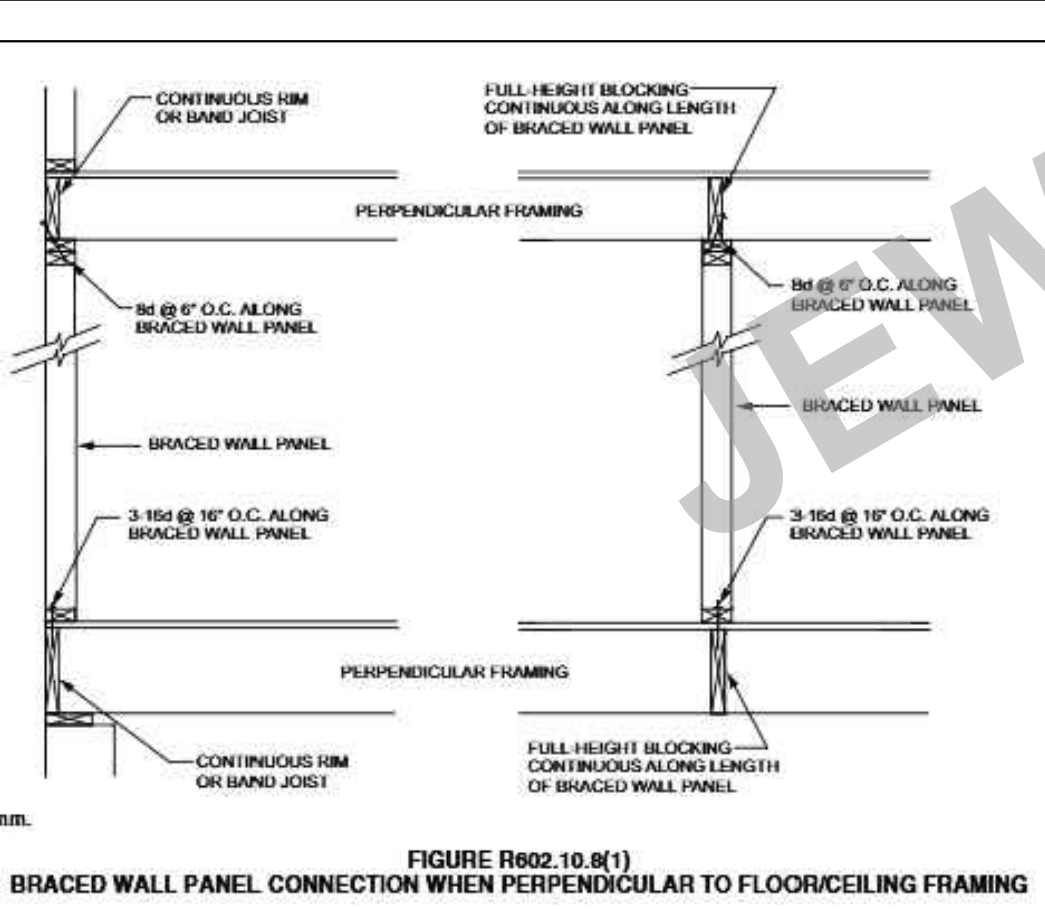
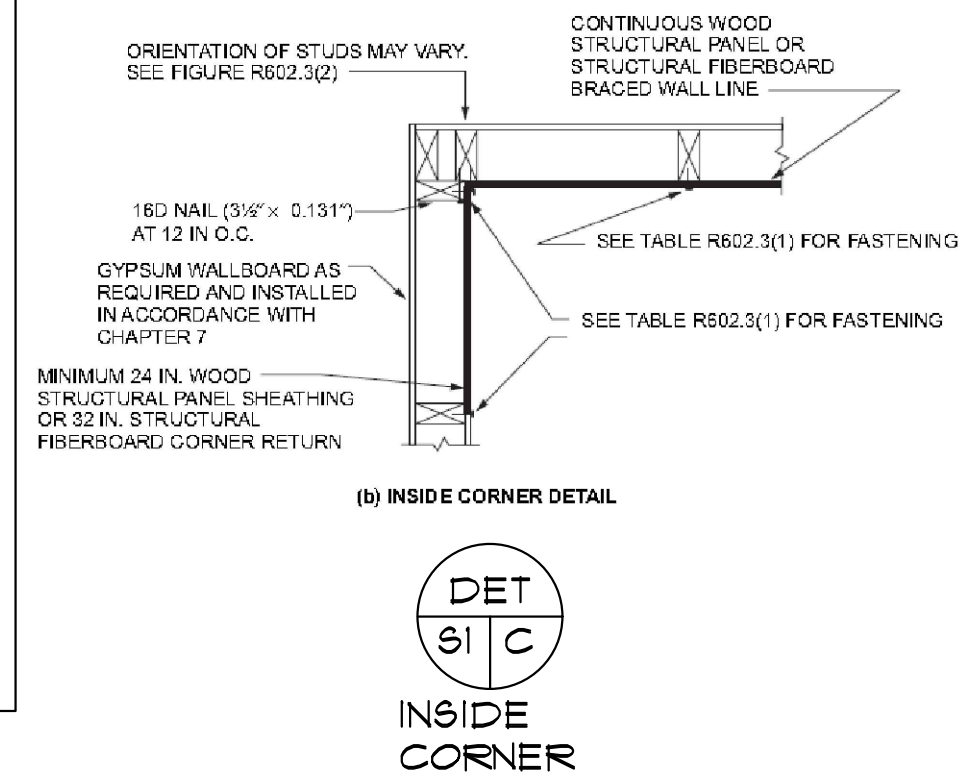
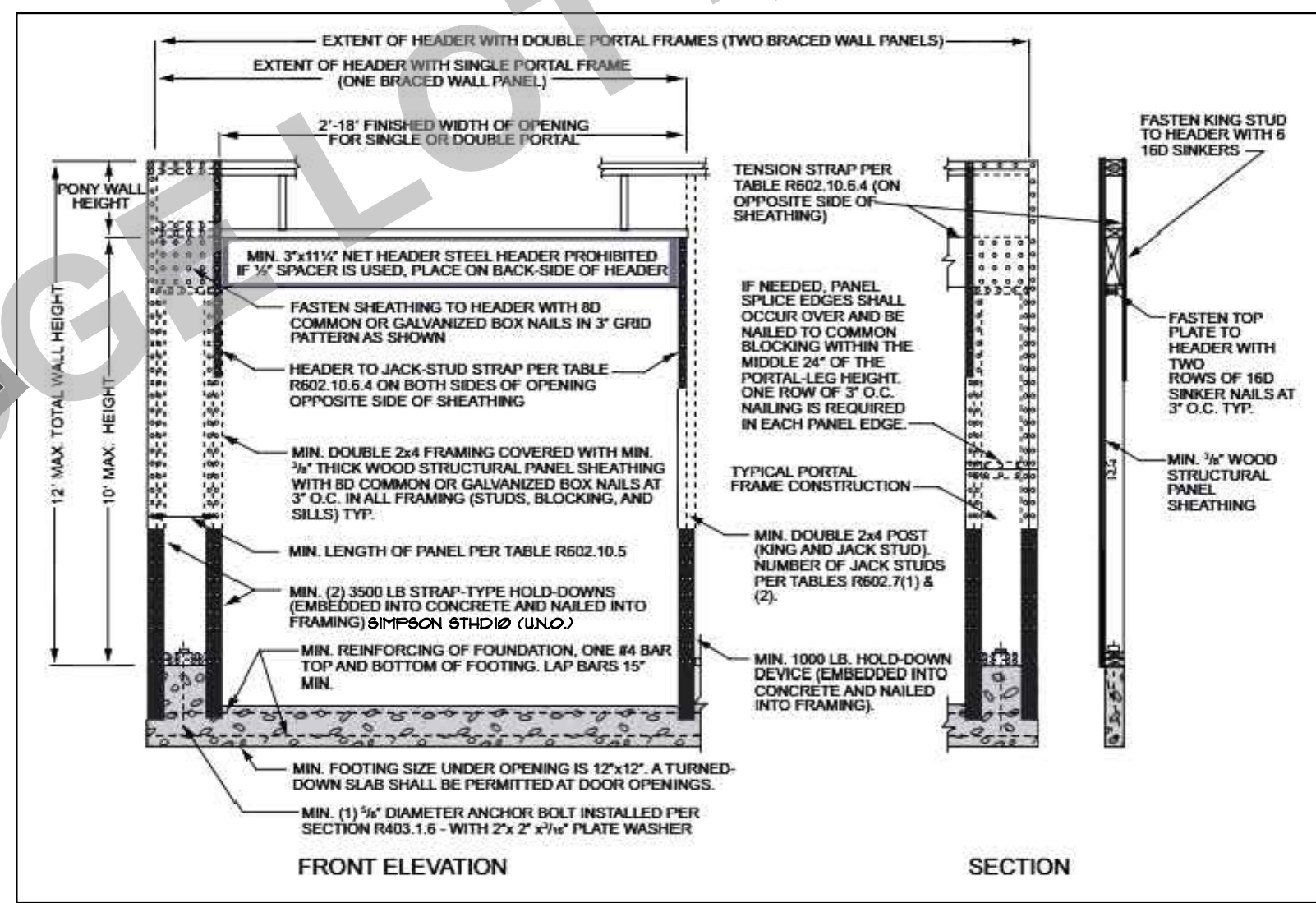
TABLE R702.3.5
MINIMUM THICKNESS AND APPLICATION OF GYPSUM BOARD AND GYPSUM PANEL PRODUCTS

THICKNESS OF GYPSUM BOARD OR GYPSUM PANEL PRODUCTS (Inches)	APPLICATION	ORIENTATION OF GYPSUM BOARD OR GYPSUM PANEL PRODUCTS TO FRAMING	MAXIMUM SPACING OF FRAMING MEMBERS (Inches o.c.)		SIZE OF NAILS FOR APPLICATION TO WOOD FRAMING ^a	
			Nails ^a	Screws ^b	Nails ^a	Screws ^b
$\frac{3}{8}$	Ceiling ^d	Perpendicular	16	7	12	13 gage, 1 1/4" long, 1/64" head; 0.098" diameter, 1 1/4" long, annular-ringed; or 4d cooler nail, 0.080" diameter, 1 1/8" long, 7/32" head.
	Wall	Either direction	16	8	16	13 gage, 1 1/4" long, 1/64" head; 0.098" diameter, 1 1/4" long, annular-ringed; 5d cooler nail, 0.086" diameter, 1 1/8" long, 1/64" head; or gypsum board nail, 0.086" diameter, 1 1/8" long, 1/32" head.
$\frac{1}{2}$	Ceiling ^d	Perpendicular	16	7	12	13 gage, 1 1/4" long, 1/64" head; 0.098" diameter, 1 1/4" long, annular-ringed; 5d cooler nail, 0.086" diameter, 1 1/8" long, 1/64" head; or gypsum board nail, 0.086" diameter, 1 1/8" long, 1/32" head.
	Wall	Either direction	24	7	12	13 gage, 1 1/4" long, 1/64" head; 0.098" diameter, 1 1/4" long, annular-ringed; 5d cooler nail, 0.086" diameter, 1 1/8" long, 1/64" head; or gypsum board nail, 0.086" diameter, 1 1/8" long, 1/32" head.
$\frac{1}{2}$	Wall	Either direction	24	8	12	13 gage, 1 1/4" long, 1/64" head; 0.098" diameter, 1 1/4" long, annular-ringed; 5d cooler nail, 0.086" diameter, 1 1/8" long, 1/64" head; or gypsum board nail, 0.086" diameter, 1 1/8" long, 1/32" head.
	Wall	Either direction	16	8	16	13 gage, 1 1/4" long, 1/64" head; 0.098" diameter, 1 1/4" long, annular-ringed; 5d cooler nail, 0.086" diameter, 1 1/8" long, 1/64" head; or gypsum board nail, 0.086" diameter, 1 1/8" long, 1/32" head.

S1
ABW



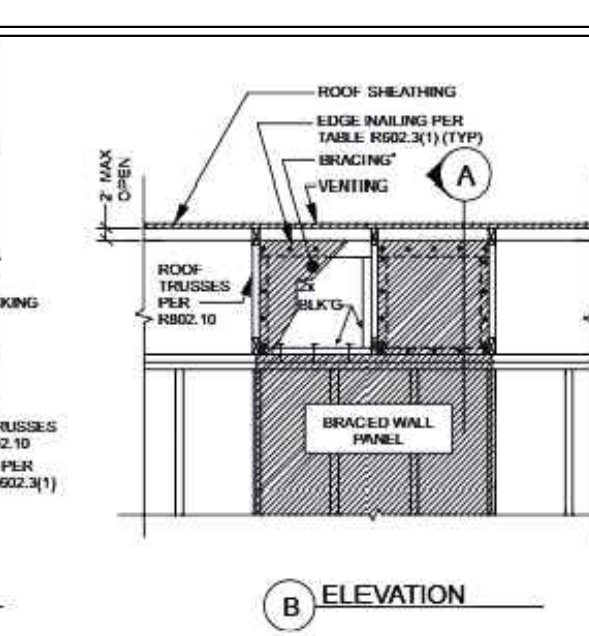
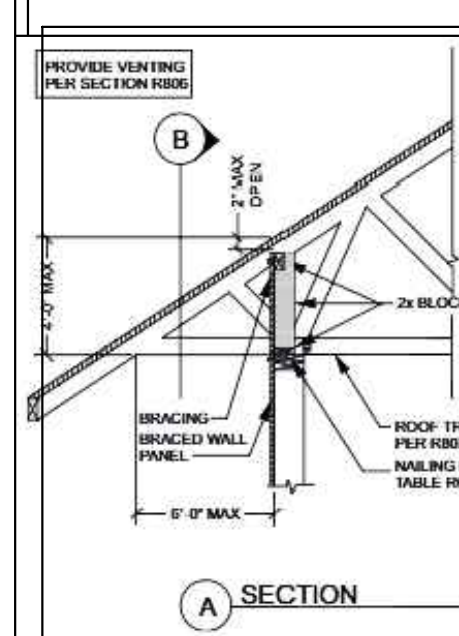
S1
PFH



DET
S1
A

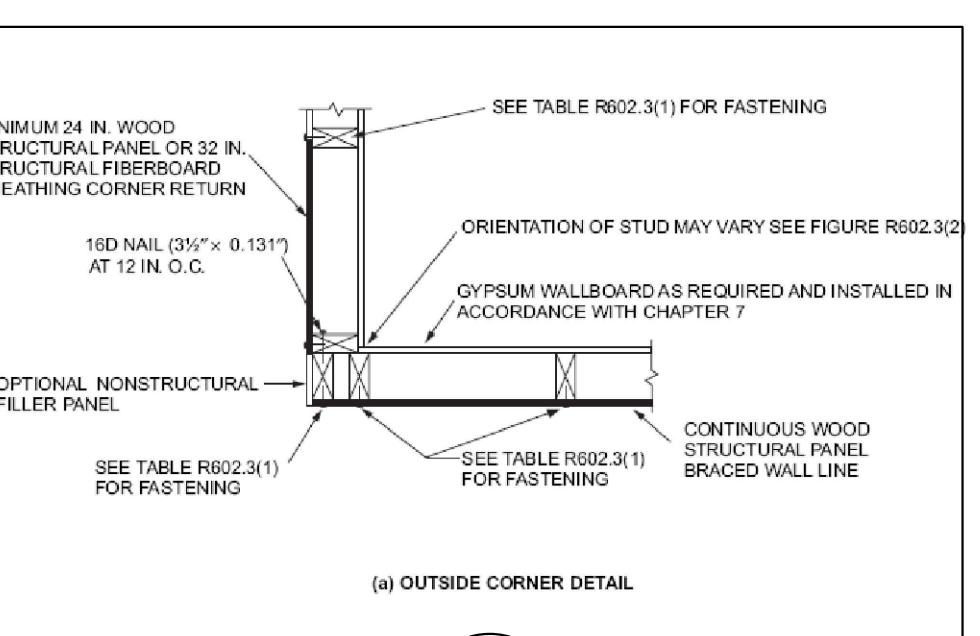
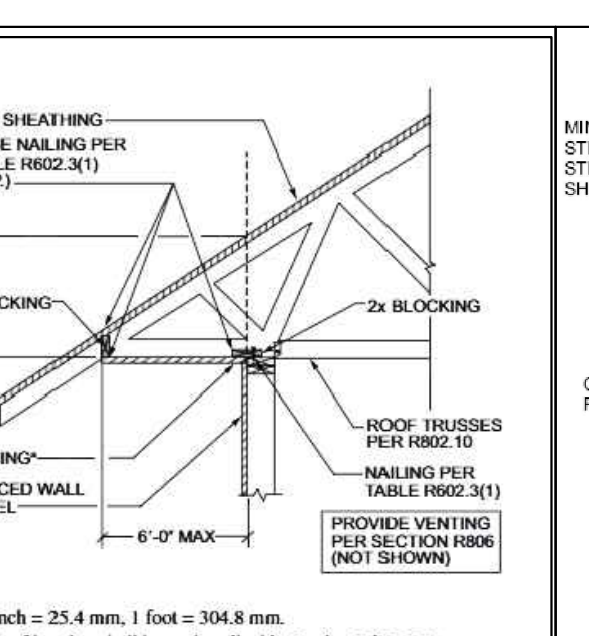
NOTE: CONNECT ALL BRACE WALLS TO FOUNDATION/FLOOR AND ROOF AS PER DET S1-A AS APPLICABLE TO THAT LOCATION

DET
S1
A



DET
S1
B1

OR



DET
S1
B2

DET
S1
C

OUTSIDE CORNER

DATE: 12-20-22
SCALE: 1/4" = 1'-0"

CLIENT NAME: RAZE JBR LOT 4 CUSTOM

LOCATION

SHEET TITLE: SHEAR DETAILS

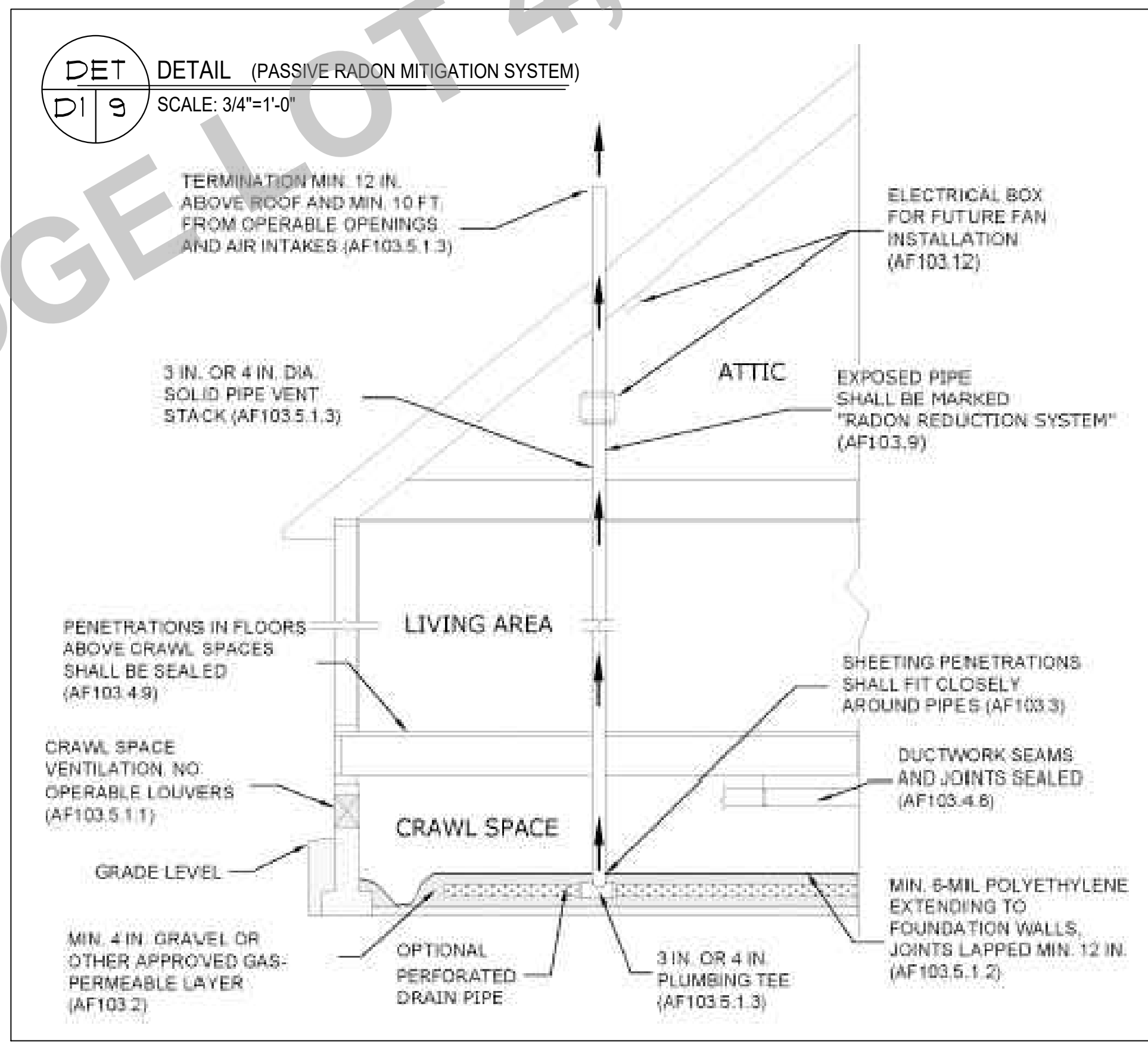
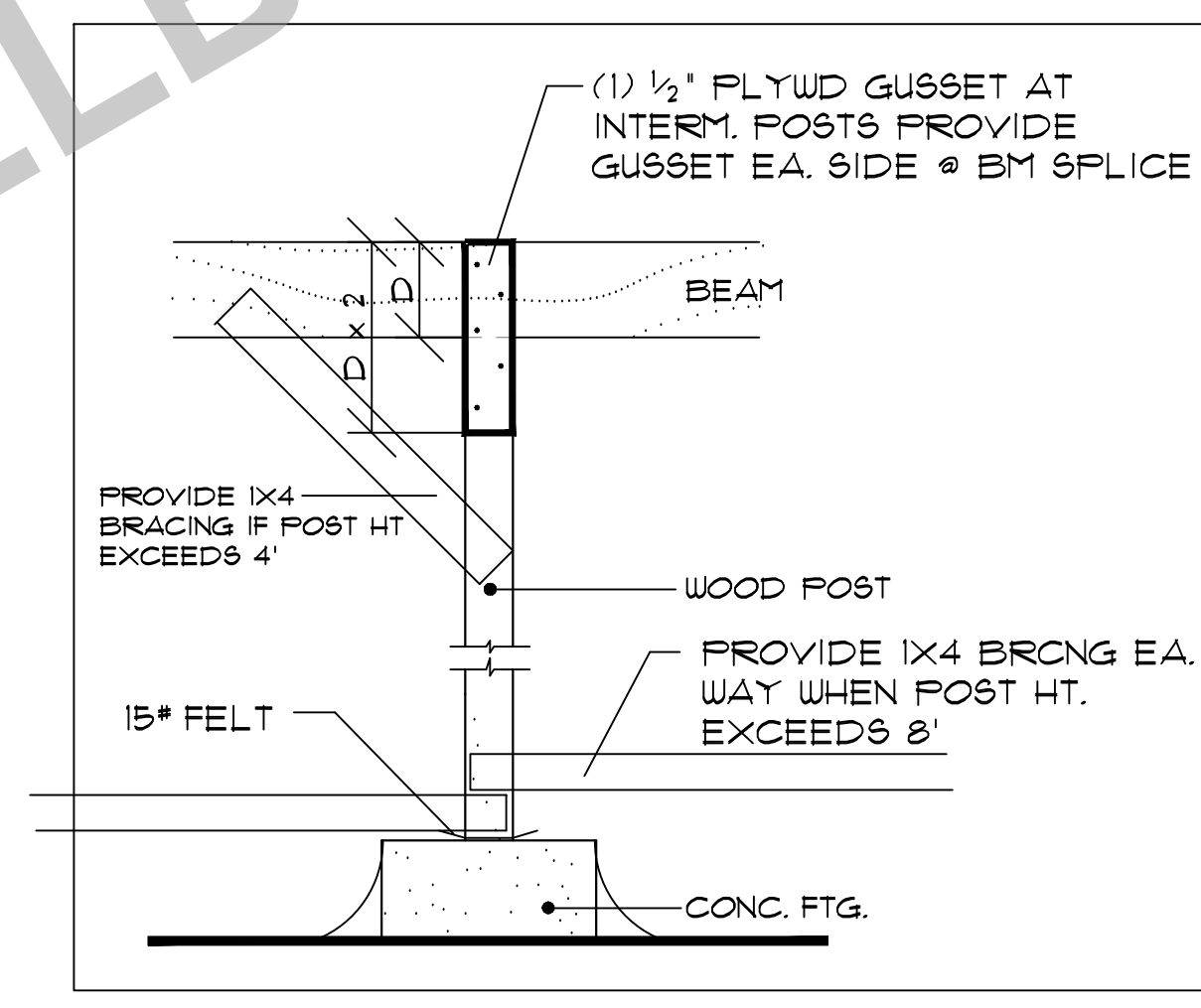
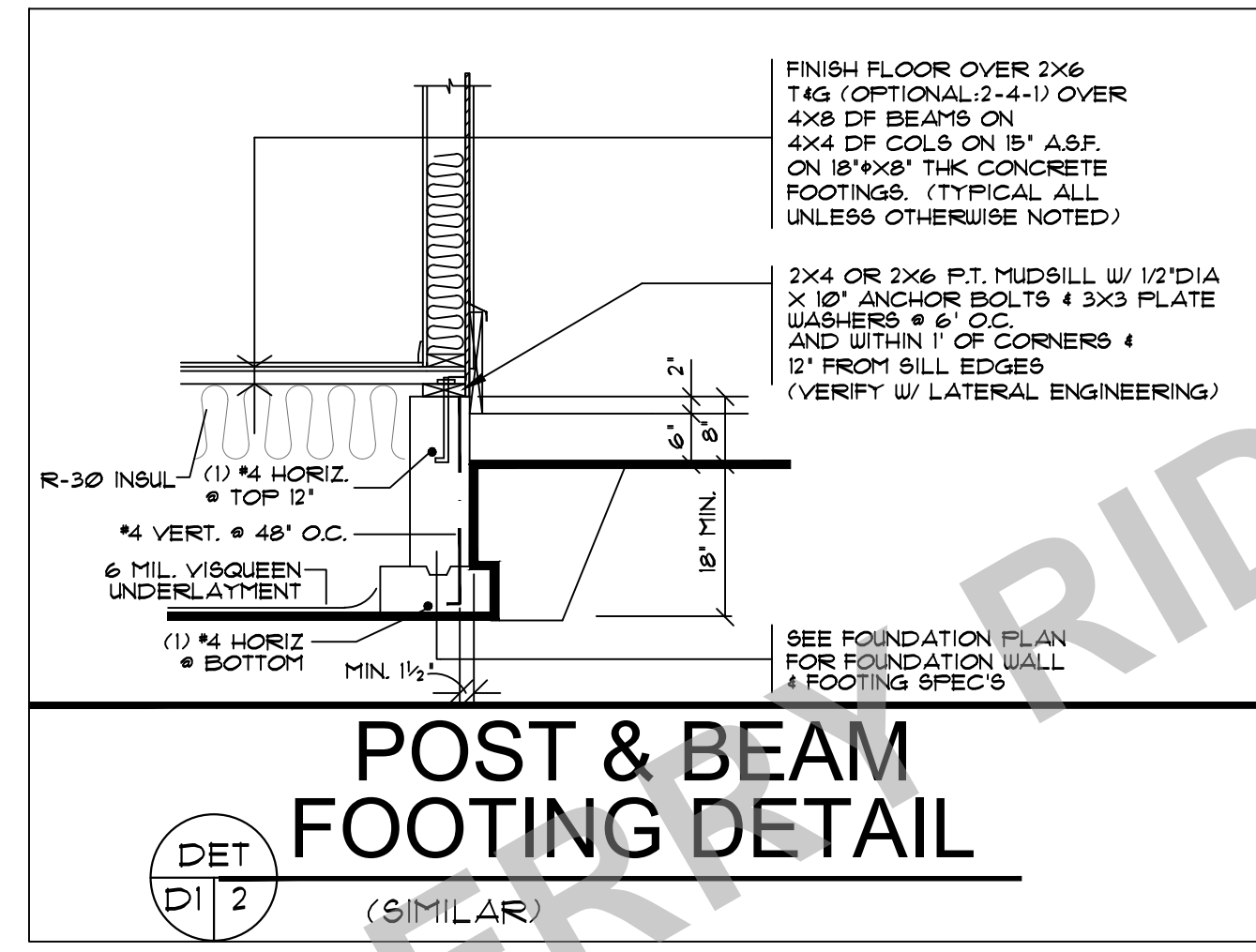
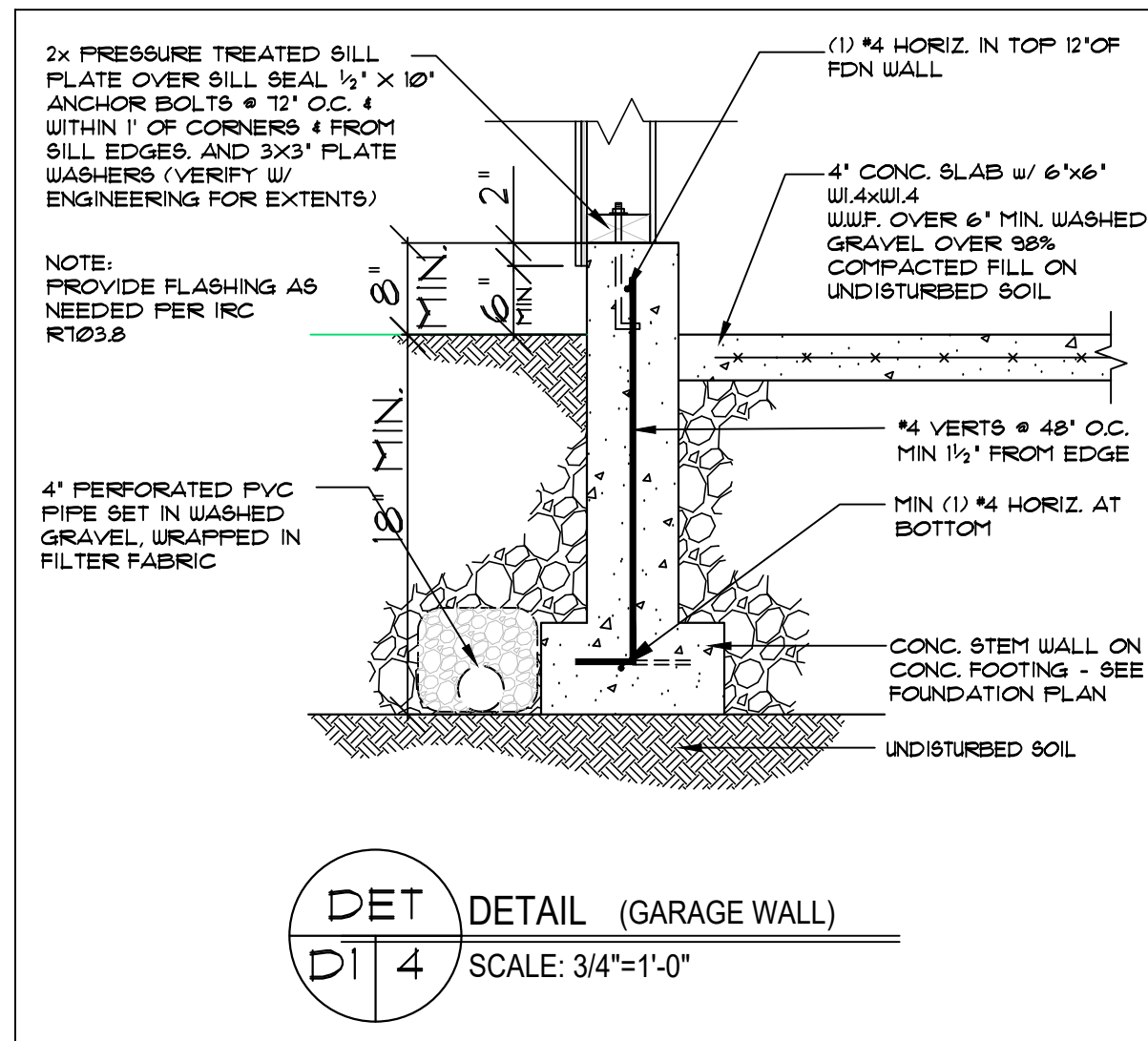
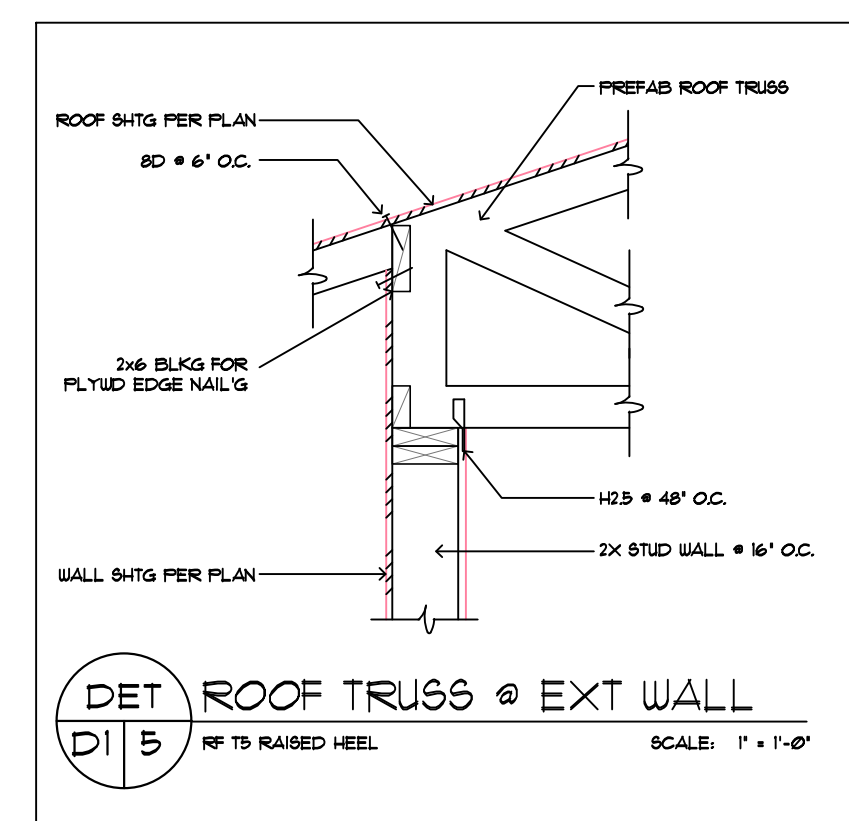
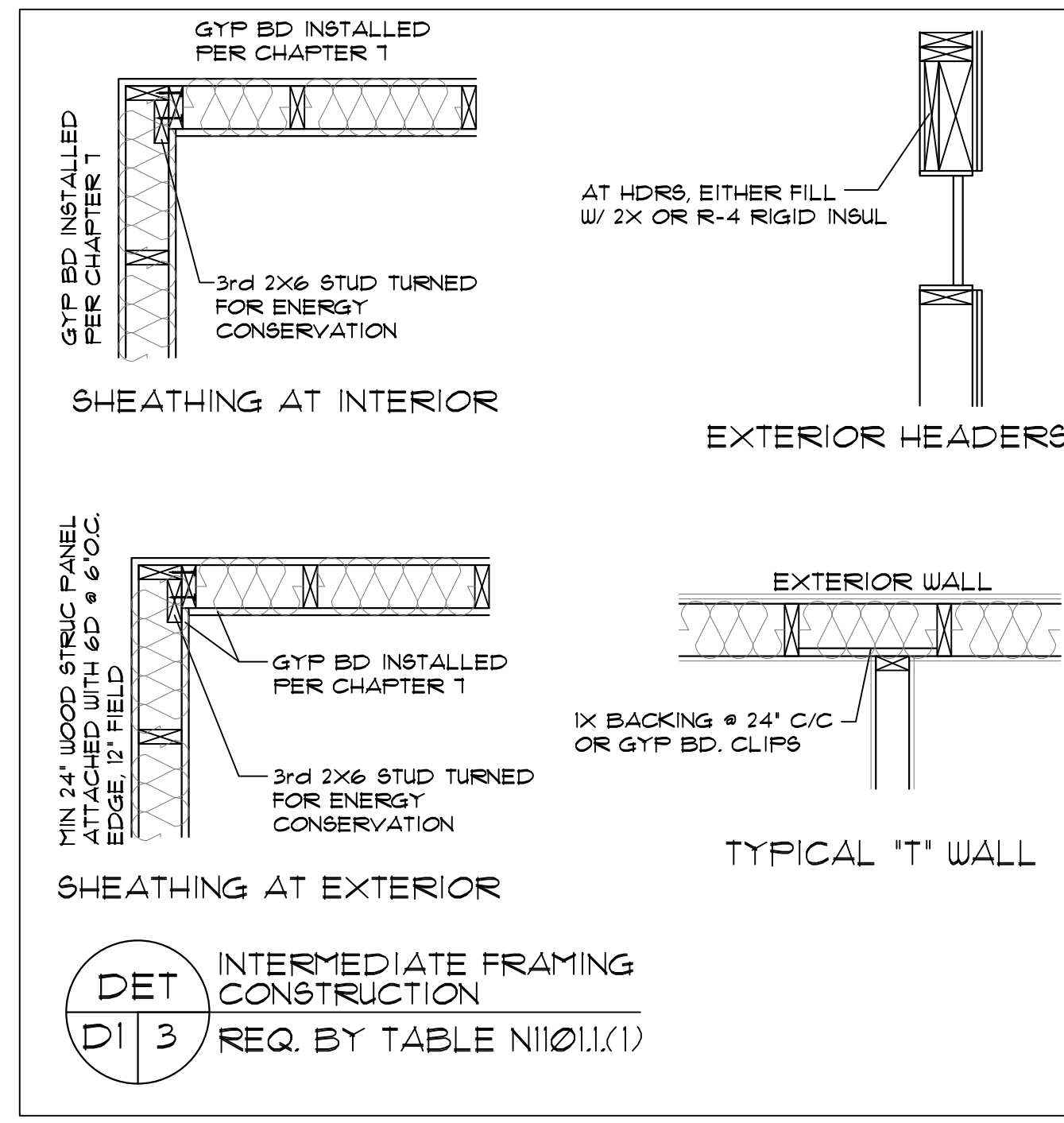
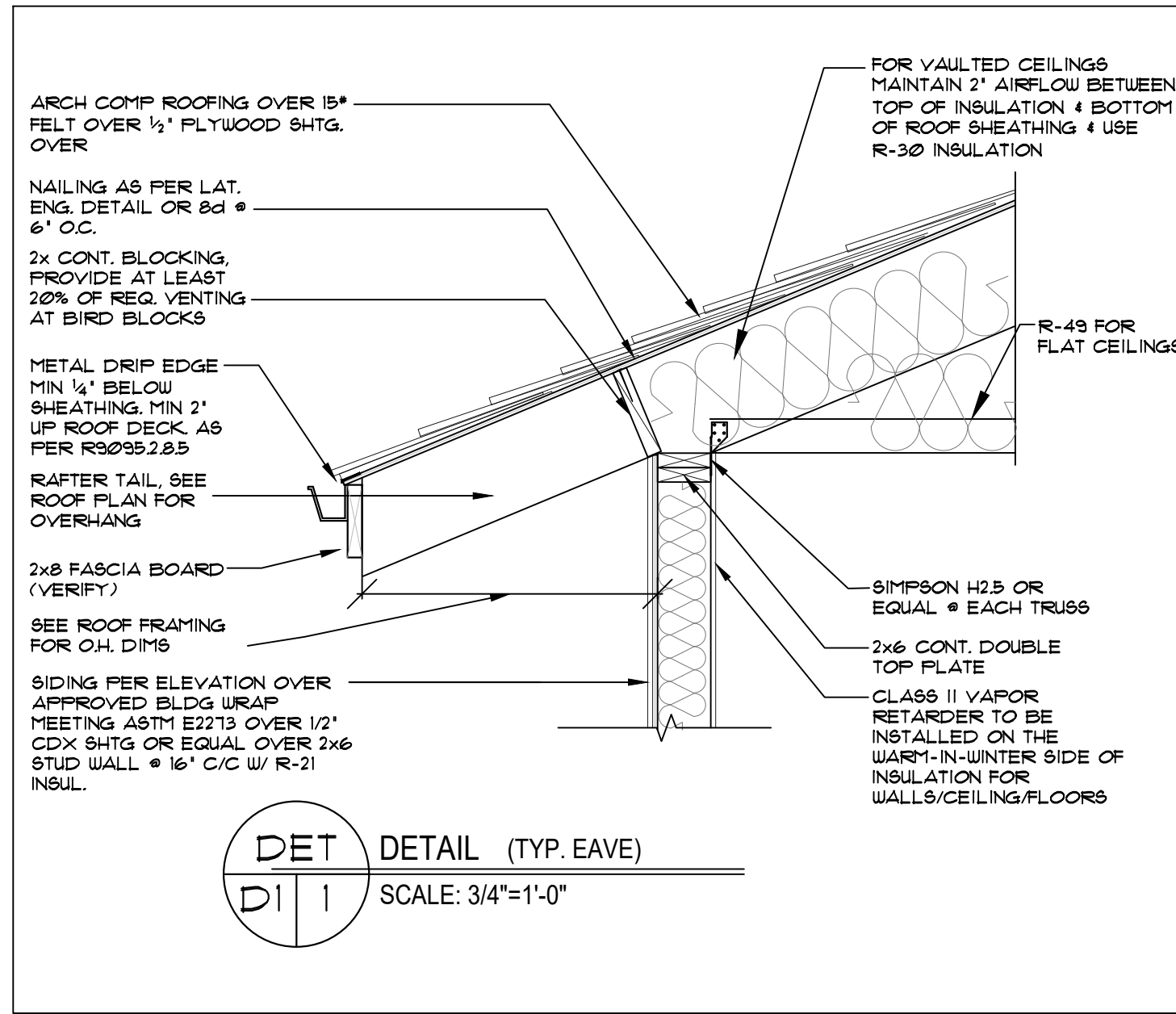
SQUARE FEET:



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SHEET NR:

S1



DET D1.6 POST & BEAM FOOTING DETAIL

PROJECT NO: 12-20-22
 DATE: 12-20-22
 SCALE: 1/4" = 1'-0"

CLIENT NAME: RAZE JBR LOT 4 CUSTOM
 LOCATION: RAZE JBR LOT 4 CUSTOM
 SHEET TITLE: TYPICAL DETAILS
 SQUARE FEET:

DESIGN
 PROVIDENCE, INC.
 PMB 302 12042 S.E. SUNNYSIDE RD. CLACKAMAS, OR 97015
 Phone & Fax: 503-780-0446 Email: Design@providenceinc.com

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SHEET NR: **D1**

